

Phase 1



CITY OF KIRKLAND

Planning and Building Department

123 Fifth Avenue, Kirkland, WA 98033

425.587.3225 ~ www.kirklandwa.gov

DESIGN REVIEW BOARD DECISION

FILE NUMBER: DRV15-01462

PROJECT NAME: Kirkland Parkplace (Kirkland Urban), Phase 1

APPLICANT: Patrick Logan, Collins Woerman

PROJECT PLANNER: Angela Ruggeri, Senior Planner

I. SUMMARY OF DECISION

Pat Logan of Collins Woerman, representing Talon Private Capital applied for design review of the Kirkland Urban mixed use project at 457 Central Way (current Parkplace location). The entire project (Phase 1 and future phases) will include approximately 650,000 square feet of office, 225,000 square feet of retail and entertainment, and 250-300 residential units. Structured parking with some on grade parking for the QFC grocery store is proposed. Phase 1 of the project includes a new enlarged QFC, additional retail, two new office buildings, and one residential building containing approximately 205 units. Future phases will include additional office, retail, entertainment and residential uses.

The applicant also requested approval of two minor variations to setback yard requirements:

- **One to the required 25' rear yard setback** on the south side of the project to construct a plaza to screen loading and service areas for the grocery store.
- **The other to the required 55' minimum setback from the park for Building G** (stand-alone retail building).

On December 7, 2015, the Design Review Board (DRB) approved the project as shown on the plans dated December 4, 2015 subject to the following conditions:

- A. This application is subject to the applicable requirements contained in the Kirkland Municipal Code, Zoning Code, and Building and Fire Code. It is the responsibility of the applicant to ensure compliance with the various provisions contained in these ordinances.
- B. As part of the application for a building permit the applicant shall submit the following:
 - 1. Construction plans demonstrating compliance with the project plans approved by the DRB.
 - 2. A summary of any proposed project changes, indexed to the permit drawings, from the plans approved through Design Board Review.
- C. Prior to final inspection of a building permit by the Planning Official, the project architect shall submit a letter stating that they have evaluated the project to ensure it

is consistent with the plans approved through Design Board Review and no modifications have been made that were not previously approved by the City.

II. DESIGN RESPONSE CONFERENCE MEETINGS

A. Background Summary

The DRB held six Design Response Conference meetings for the project. The staff reports and applicant's response to the DRB's recommendations from the meetings can be found listed by meeting date at this online web address:

http://www.kirklandwa.gov/depart/Planning/DRB_Meeting_Information.htm

Below is a summary of the Board's discussions at the Design Response Conference meetings for the project:

August 17, 2015: At this meeting the Design Review Board reviewed the applicant's plans and the staff memo dated August 7, 2015 based on consistency with the Kirkland Parkplace Mixed-Use Development Master Plan and Design Guidelines and feedback given at the Conceptual Design conference on June 15, 2015.

After requesting public comment on the project and deliberating, the Board directed the applicant to return for a second meeting to respond to the following DRB comments:

1. Site Plan and Landscape Design – more detail on the landscaped areas.
2. Building A - generally approved direction shown for Building A, but had the following requests:
 - Explore alternatives for the corner element
 - Use the corner element to break up the massing
 - Define the degree of public access at the corner
 - Consider less use of bright white vertical elements
3. Building F - generally approved direction shown for Building F, but asked for more detail and refinement of materials.
4. Building E - The DRB had concerns about the length of the curved façade at the south elevation and also the Central Way Façade. The enclosed breezeway concept was generally accepted, but more detail was requested.

October 5, 2015: At this meeting the Design Review Board reviewed the applicant's plans and the staff memo dated September 28, 2015 based on consistency with the Kirkland Parkplace Mixed-Use Development Master Plan and Design Guidelines and feedback given at the Design Response Conference on August 17, 2015.

After requesting public comment on the project and deliberating, the Board directed the applicant to return for a third meeting. In general, the Design Review Board (DRB) felt that the overall project was progressing in the right direction. The following list includes their concerns and requested information for the October 19, 2015 meeting.

1. Site and Landscape Plan
 - Show site from top of hill coming down Central Way for all of Phase 1 (to help understand facades and determine if rooftops and penthouse structures appear too large)

- Integrate the three plant zones (West, Central and East)

2. Building A

- **General support for the townhouse concept and the "Field" is basically ok**
- **Corner is a key location and should say "Welcome to Downtown Kirkland" –**
Suggestions to rework the corner to present a better gateway included:
 - Consider scale of roof and do more with the corner roof element
 - Study window treatments
 - Use punched windows to avoid flat appearance
 - Extend window glazing higher
- Two minor corners (bookends) should respond to main corner
- Provide:
 - Dimensions on all elevations
 - Sidewalk perspectives – **at about 5'8", not 20'**
 - Section through townhouse (show how townhouse base relates to building above)
 - Clarification that exterior materials A and B are different or choose other materials for those areas

3. Building E

- Building E is not as well detailed as Building F
- Generally comfortable with the design of the south elevation
- Explore different colors on upper stories – to differentiate from Building F
- Central Way elevation needs more work – auto-oriented, not pedestrian oriented (bring back a couple of possible concept studies)
- Roof line is long and unbroken
- More information needed on great room/breezeway
- Provide:
 - Series of sections through north elevation of building and into the street
 - Options or rework picture frames
 - Dimensions on all elevations
 - Sidewalk perspectives – **at about 5'8", not 20'**

4. Building F

- Basically like Building F with the exception of the second floor retail design
 - Explore other options for material changes on storefronts
 - Look for ways to unify storefront concepts
- Explore options for escalator covering/where stairs will go
- Provide:
 - Dimensions on all elevations
 - Sidewalk perspectives – **at about 5'8", not 20'**

5. Additional Items

- Details on request for minor variation to setback to screen loading and service areas at QFC with a plaza
- Request for lapse of approval extension
- Request for amendment to Master Plan for secondary pedestrian path location through Building A
- Proposal for how tenant improvements will be handled
- Design of remaining small buildings in Phase 1

October 19, 2015: At this meeting the Design Review Board reviewed the **applicant's** plans based on consistency with the Kirkland Parkplace Mixed-Use Development Master Plan and Design Guidelines and feedback given at the Design Response Conference on October 5, 2015.

After requesting public comment on the project and deliberating, the Board directed the applicant to return for a fourth meeting with additional information on design details and also minor modification requests.

November 2, 2015: At this meeting the Design Review Board reviewed the **applicant's** plans based on consistency with the Kirkland Parkplace Mixed-Use Development Master Plan and Design Guidelines and feedback given at the Design Response Conference on October 19, 2015.

The applicant also presented their request for two minor variations:

1. To construct a plaza to screen loading and service areas for the grocery store in **the required 25' rear yard setback.**
2. **To reduce the required 55' minimum setback from the park for Building G, the stand alone retail building.**

After requesting public comment on the project and deliberating, the Board directed the applicant to return for a fifth meeting with additional information on landscaping and design details.

November 16, 2015: At this meeting the Design Review Board reviewed the **applicant's** plans based on consistency with the Kirkland Parkplace Mixed-Use Development Master Plan and Design Guidelines and feedback given at the Design Response Conference on November 2, 2015.

After requesting public comment on the project and deliberating, the Board directed the applicant to return for a sixth and final meeting with additional information on landscaping, materials and other details.

December 7, 2015: The applicant presented the additional information that was requested by the DRB. The DRB took public comment and discussed the new information provided by the applicant and at the conclusion of the meeting voted to approve the project as submitted in the December 4, 2015 plan set.

B. Public Comment

All public comment received during the Design Response Conference meetings were forwarded on to the Board for consideration in addition to the oral comment from the **public meetings. All comments are contained in the City's official file. Below is a summary** of the general public comment themes that emerged through the design review process:

- Building height concerns
- Traffic flow concerns
- Request for condos rather than apartments
- Request for an independent movie theater rather than a national chain

III. DESIGN REVIEW BOARD DISCUSSION AND CONCLUSIONS

The DRB used the City of Kirkland Parkplace Mixed-Use Development Master Plan and Design Guidelines to guide their review of the project. This document can be found at the following link and it includes the key issues to be considered by the DRB in reviewing the project.

http://www.kirklandwa.gov/depart/planning/Development_Info/projects/Parkplace.htm

The DRB concluded that the proposal met the intent of the master plan and design guidelines, which were developed specifically for the site. For more background on the guidelines and evaluation of how the project meets the Zoning Code and Comprehensive Plan policies see staff advisory reports from the design response conferences contained in File DRV15-00787.

IV. SUBSEQUENT MODIFICATIONS

Modifications to the approval may be requested and reviewed pursuant to the applicable modification procedures and criteria in effect at the time of the requested modification.

V. APPEALS OF DESIGN REVIEW BOARD DECISIONS AND LAPSE OF APPROVAL

Appeals

Section 142.40 of the Zoning Code allows the Design Review Board's decision to be appealed to the Hearing Examiner by the applicant or any person who submitted written or oral comments to the Design Review Board. The appeal must be in the form of a letter of appeal and must be delivered, along with any fees set by ordinance, to the Planning and Building Department by 5:00 p.m., January 4, 2016, fourteen (14) calendar days following the postmarked date of distribution of the Design Review Board's decision.

Only those issues under the authority of the Design Review Board as established by Kirkland Zoning Code 142.35(2) are subject to appeal.

Lapse of Approval (KZC 142.55)

The applicant must begin construction or submit to the City a complete building permit application for the development activity, use of land or other actions approved under this chapter within five (5) years after the final approval of the City of Kirkland on the matter, or the decision becomes void.

The applicant must substantially complete construction for the development activity, use of land or other actions approved under this chapter and complete the applicable conditions listed on the notice of decision within seven (7) years after the final approval on the matter or the decision becomes void.

VI. ATTACHMENTS

1. Applicant Proposal dated December 4, 2015 and given to the DRB at the December 7, 2015 meeting.

VII. PARTIES

The following is a list of parties that have submitted written or oral comment to the DRB:

Jim Neal
Jan Olson
James Penney
Maura Roberts
Margaret Bull

VIII. APPROVAL



Carolyn Adams, Chair, Design Review Board

Date: 12/17/15



KIRKLAND PARKPLACE

Mixed-Use Development

457 CENTRAL WAY
KIRKLAND, WA 98033

DESIGN RESPONSE CONFERENCE
PRE-SUBMITTAL : NOVEMBER 30, 2015
SUBMITTAL : DECEMBER 4, 2015
PRESENTATION : DECEMBER 7, 2015

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RYAN
BUILDING LASTING RELATIONSHIPS

TALON
PRIVATE CAPITAL

INTRODUCTION

PROJECT INFORMATION

LOCATION	457 Central Way Kirkland, WA 98033
DEVELOPER	Talon Private Capital, LLC William Leedom 720 Olive Way, Suite 1020 Seattle, WA 98101 (206) 607 - 2561 leedom@talonprivate.com
LEAD ARCHITECT	CollinsWoerman 710 2nd AVE Seattle, WA 98104-1710 Pat Logan 206.245.2028 plogan@collinswoerman.com
RESIDENTIAL ARCHITECT	Weber Thompson 225 Terry Ave N. Suite 200 Seattle, WA 98109 Amanda Keating 206.344.5700 akeating@weberthompson.com
LANDSCAPE ARCHITECT	Hewitt 101 Stewart Street Suite 200 Seattle, WA 98101 Kris Snider 206.624.8154 ksnider@hewittseattle.com

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Reviewed by: _____

DESIGN CONCEPT | PHASE 1

Design Review Conference #6

INTRODUCTION

This submittal serves as the final approval package for the Kirkland Parkplace Mixed Use project (Phase One). It synthesizes the previous Design Response Conference material into one comprehensive booklet containing final design information for the Site and Landscape as well as all Phase One buildings. Several items from DRC 5 are included for review as well.

Site:

1. Ensure previous submittal packages regarding plaza and street lighting are included (include the street lights that are proposed and also what lighting is proposed along the park edge)
2. Provide options for vine maples

Commercial buildings

1. Provide sample of alternate zinc finish (in lieu of Terra Cotta)
2. Show how the Corten steel will look (larger perspective of page 79)
3. Information on mechanical (show on roof plans and elevations) – keep screening simple
4. What do small buildings look like from above?
5. Study railings at building F1/grand stair
 - a. Continuity of expression
 - b. Safety of cable railing

Residential

1. Grout color for brick
2. Coping detail at brick soldier course
3. Study band of light at corner (delete or change?)
4. Soffit and louver details
5. Information on mechanical (show on roof plans and elevations) – keep screening simple

DEVELOPMENT OBJECTIVES



SITE DEVELOPMENT (APPROXIMATE AREAS)

	PHASE 1 BUILDINGS						TOTAL: PHASE 1	TOTAL: FULL BUILD-OUT (FOR REFERENCE ONLY)			
	A	E	F	B	F1	G					
Office	--	194,000	189,000	--	--	--	383,000	605,000	SF	up to	650,000 SF
Residential	172,000	--	--	--	--	--	172,000	285,000	SF	up to	300,000 SF
Retail	1,800	31,000	47,000	4,000	1,600	2,000	87,400	100,000	SF	up to	125,000 SF
Grocery	--	--	47,400	--	--	--	47,400	47,400	SF		
Retail/Entertainment	--	--	--	--	--	--	--	40,000	SF		
Health Club	--	--	--	--	--	--	--	13,000	SF		
Totals	173,800	224,000	284,400	4,000	1,600	2,000	689,800 *	1,115,400	SF	up to	1,175,000 SF

* BUILDING D (69,000 SF) TO BE REMOVED AFTER BUILDING F IS OCCUPIED

DESIGN CONCEPT | PHASE 1

Overall Site Plans

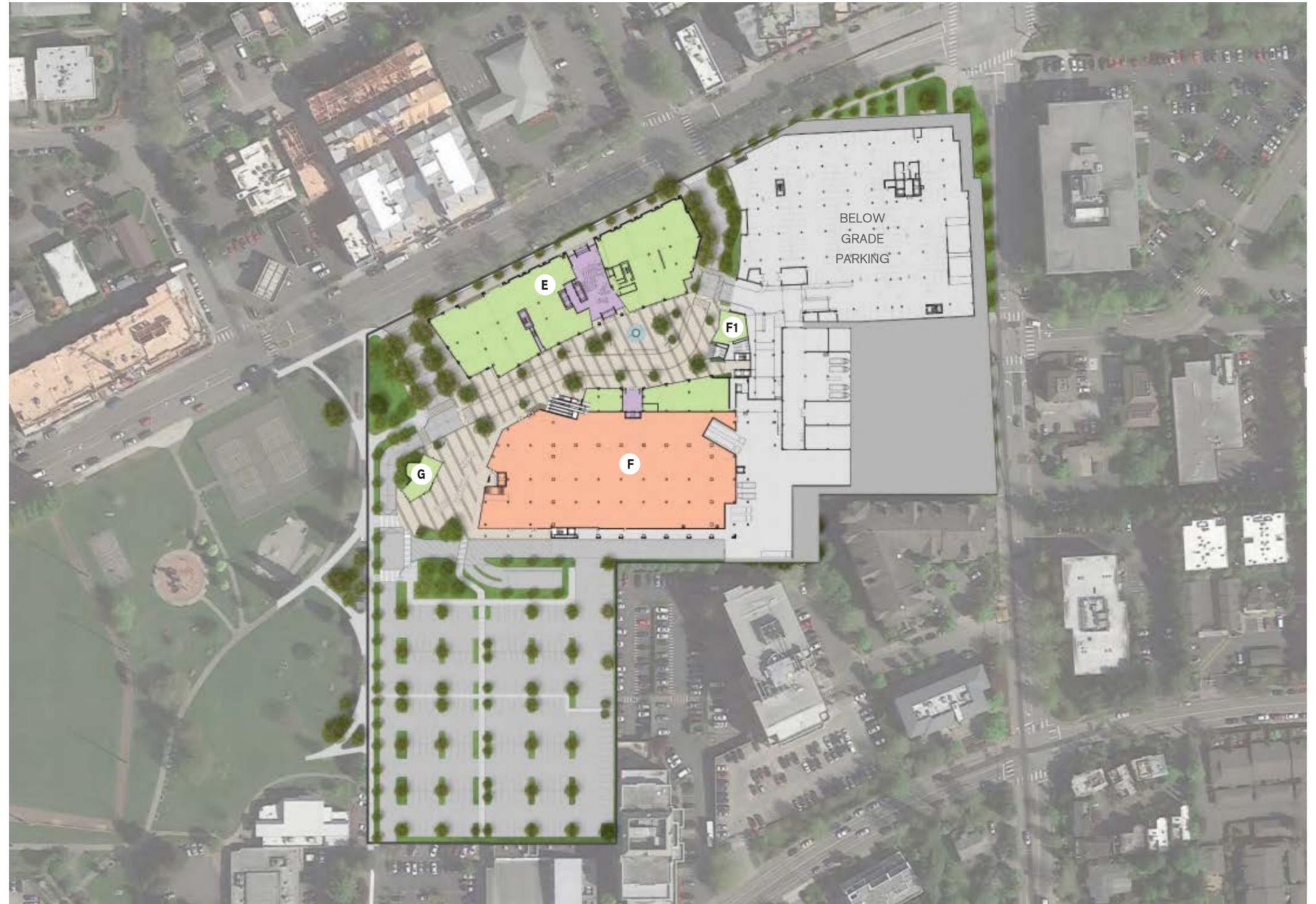
MAP KEY

PHASE 1 - PARK LEVEL (APPROX. AREAS)

	PARK LEVEL	PHASE 1 TOTAL
Office	7,500	383,000 SF
Residential	-	172,000 SF
Retail	40,500	87,600 SF
Grocery	47,400	47,400 SF
TOTAL	95,400	689,800 SF

* **BUILDING D: 69,000 SF OFFICE BUILDING TO BE REMOVED AFTER BUILDING F IS OCCUPIED**

SITE PLAN | LEVEL 1



DESIGN CONCEPT | PHASE 1

Overall Site Plans

SITE PLAN | LEVEL 2

MAP KEY



PHASE 1 - PLAZA LEVEL (APPROX. AREAS)

	PLAZA LEVEL	PHASE 1 TOTAL
Office	41,500	383,000 SF
Residential	30,400	172,000 SF
Retail	46,500	87,600 SF
Grocery	-	47,400 SF
TOTAL	118,400	689,800 SF

* **BUILDING D: 69,000 SF OFFICE BUILDING TO BE REMOVED AFTER BUILDING F IS OCCUPIED**



DESIGN CONCEPT | PHASE 1

Overall Site Plans

MAP KEY

PHASE 1 - TYPICAL LEVEL (APPROX. AREAS)

		TYPICAL LEVEL	PHASE 1 TOTAL
	Office	64,000	383,000 SF
	Residential	29,000	172,000 SF
	Retail	-	87,600 SF
	Grocery	-	47,400 SF
TOTAL		93,000	689,800 SF

* **BUILDING D: 69,000 SF OFFICE BUILDING TO BE REMOVED AFTER BUILDING F IS OCCUPIED**

SITE PLAN | TYPICAL TOWER LEVEL 3



DESIGN CONCEPT | PHASE 1

Overall Site Plans

SITE PLAN | TYPICAL TOWER LEVEL 7

MAP KEY



PHASE 1 - LEVEL 7 (APPROX. AREAS)

	LEVEL 7	PHASE 1 TOTAL
Office	54,000	383,000 SF
Residential	26,000 **	172,000 SF
Retail	-	87,600 SF
Grocery	-	47,400 SF
TOTAL	80,000	689,800 SF

** LEVELS IN THIS CHART CORRESPOND TO LEVELS AS COUNTED FROM PARK LEVEL (I.E. 'LEVEL 7 RESIDENTIAL' INDICATES THE 6TH RESIDENTIAL FLOOR OF BUILDING A)



DESIGN CONCEPT | PHASE 1

Perspectives

NORTHEAST AERIAL PERSPECTIVE





DESIGN CONCEPT | PHASE 1

Perspectives

CENTRAL WAY PERSPECTIVE



CENTRAL WAY PERSPECTIVE



HEWITT **KIRKLAND
PARKPLACE**
Mixed-Use Development
DESIGN RESPONSE CONFERENCE #6

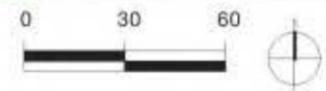
SITE PLAN | OVERALL

Kirkland Parkplace | Design Review | 12.07.2015



SITE PLAN | CENTRAL PLAZA ENLARGEMENT | LEVEL 1

Kirkland Parkplace | Design Review | 12.07.2015



HEWITT

SITE PLAN | CENTRAL PLAZA ENLARGEMENT | LEVEL 2

Kirkland Parkplace | Design Review | 12.07.2015



COLLINSWOERMAN | TALON | KIRKLAND PARKPLACE | DECEMBER 7, 2015

- HARDSCAPE**
- STANDARD CONCRETE- PEDESTRIAN AND VEHICULAR
 - SPECIALTY CONCRETE - PEDESTRIAN AND VEHICULAR
 - PEDESTRIAN PEDESTAL PAVERS (LEVEL 2)
 - SECONDARY ROAD AND PARKING - ASPHALT
 - CRUSHED STONE (LEVEL 2)
 - WOOD DECKING
 - WATER FEATURES WITH GRANITE PAVERS



MATERIALS PLAN | ENLARGEMENT 1

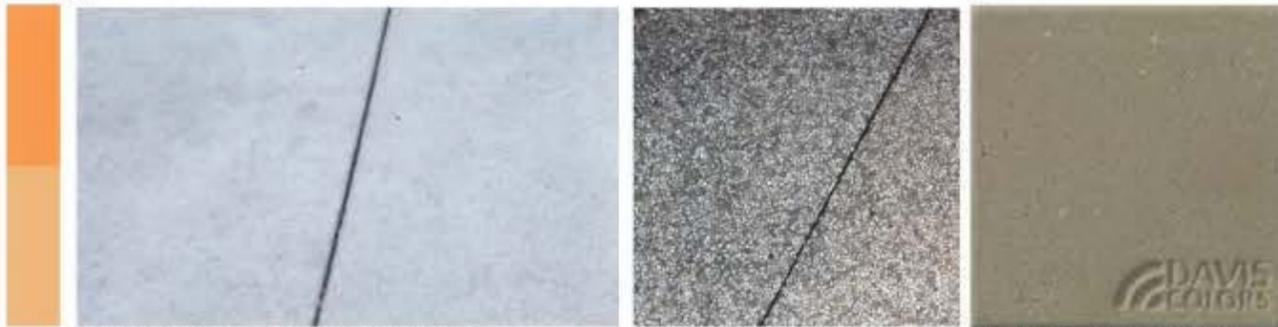
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STANDARD CONCRETE PEDESTRIAN AND VEHICULAR



2'X2' SCORED CONCRETE SIDEWALKS SCORED CONCRETE CROSSINGS CONCRETE ROAD

SPECIALTY PAVING CONCRETE WITH INTEGRAL COLOR (SANDBLAST AND SEALED FINISH AND TOP SEEDED SURFACE)



SANDBLASTED FINISH PAVING FIELD TOP SEEDED FINISH ACCENT BANDS INTEGRAL BUFF COLOR (DAVIS PALOMINO OR SIM.)

WOOD BENCH / SEAT



IPE OR SIMILAR

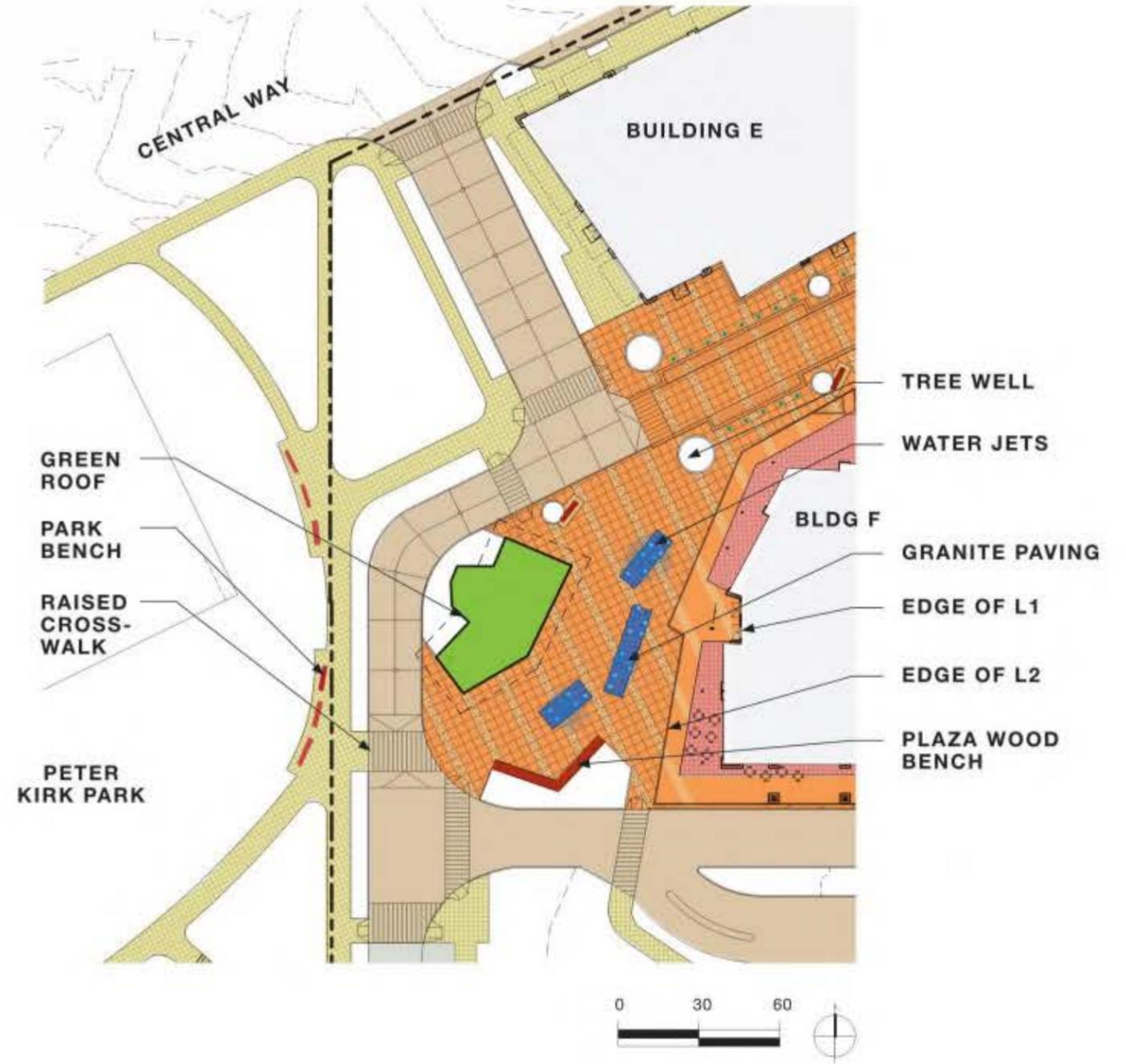
WATER FEATURE



WATER JETS FLUSH WITH GRANITE PAVEMENT SURFACE



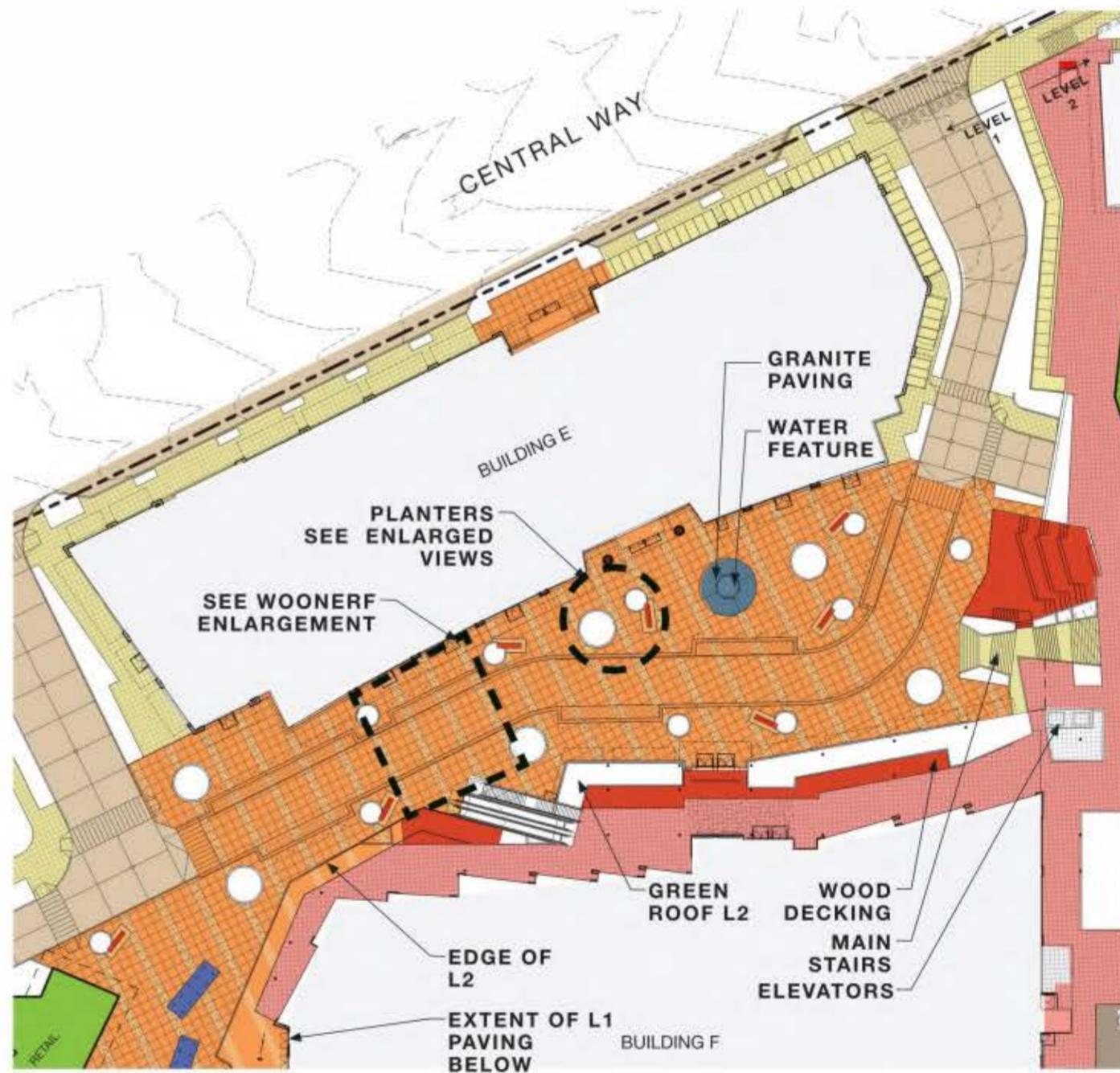
BUFF COLOR GRANITE (OR SIM.)



COLLINSWOERMAN | TALON | KIRKLAND PARKPLACE | DECEMBER 7, 2015

MATERIALS PLAN | ENLARGEMENT 2

Kirkland Parkplace | Design Review | 12.07.2015



STANDARD CONCRETE PEDESTRIAN AND VEHICULAR



2'X2' SCORED CONCRETE SIDEWALKS SCORED CONCRETE CROSSINGS CONCRETE ROAD
 SPECIALTY PAVING (CONCRETE WITH SANDBLAST AND SEALED FINISH AND TOP SEEDED SURFACE WITH INTEGRAL COLOR)



SANDBLASTED FINISH TOP SEEDED FINISH INTEGRAL BUFF COLOR (DAVIS PALOMINO)

WOOD DECKING (IPE OR SIMILAR)



STADIUM SEATING AND WOOD DECKING BENCHES AT CENTRAL PLAZA WOONERF

PEDESTRIAN PEDESTAL PAVERS



2' X 2' STANDARD PRECAST PEDESTAL PAVER AT L2 - BLEND OF 2 GRAY COLORS W/ TAN ACCENT
 PEDESTAL PAVERS COLORS: GRAY, CHARCOAL, TAN - (MUTUAL MATERIALS VANCOUVER BAY SERIES OR SIM.)

WATER FOUNTAIN



WATER FEATURE WITH GRANITE PAVING SURROUND BUFF COLOR GRANITE (OR SIM.)

CENTRAL PLAZA | WOONERF ENLARGEMENT

Kirkland Parkplace | Design Review | 12.07.2015



PRECAST TACTILE WARNING PAVER AND TRENCH DRAIN AT EDGE OF VEHICULAR THROUGH WAY



PLAZA TREE PLANTER AND TREE CANOPY



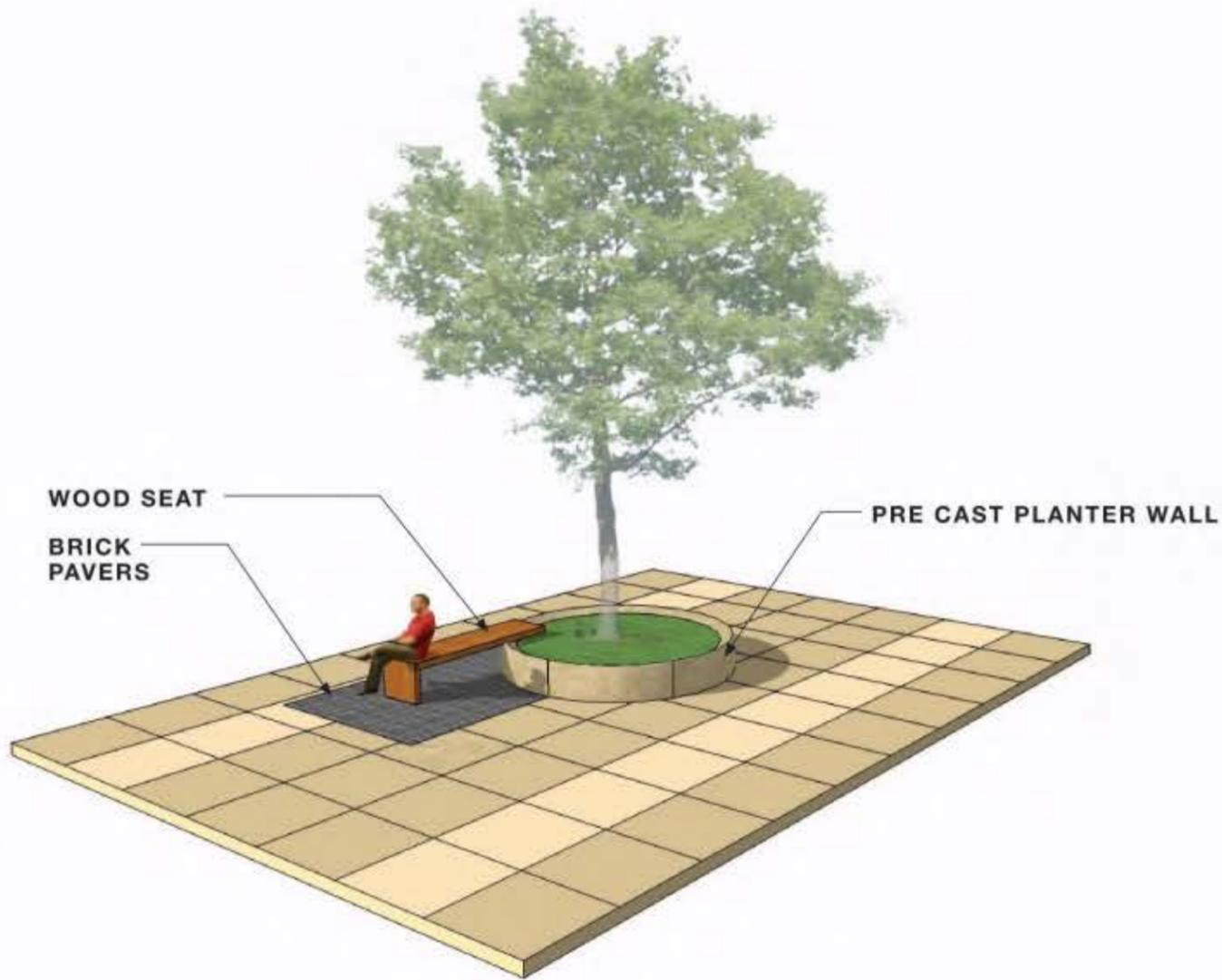
BOLLARDS



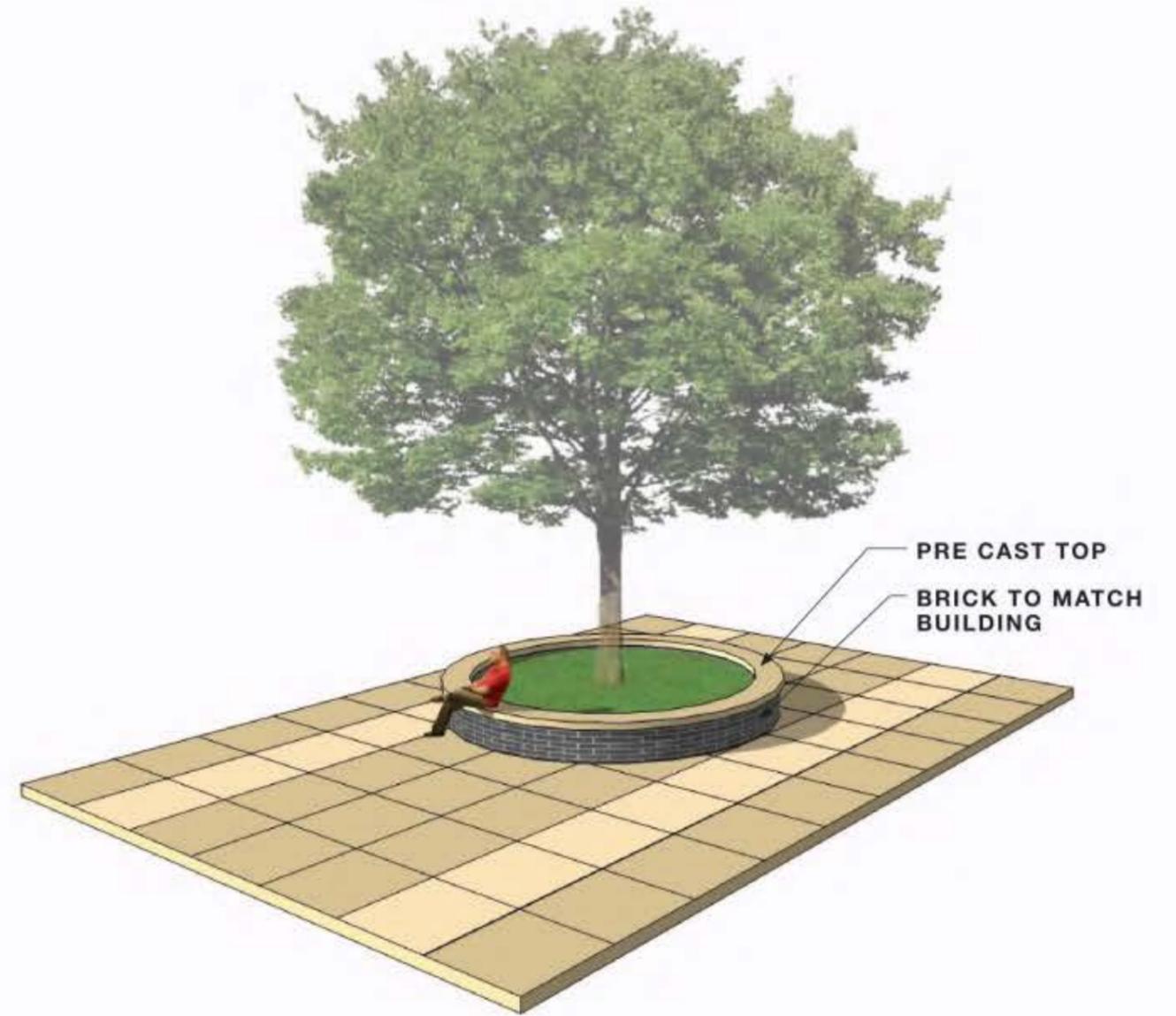
DECEMBER 7, 2015 | KIRKLAND PARKPLACE | TALON | COLLINSWOERMAN

CENTRAL PLAZA - WOONERF | PLANTER VIEWS

Kirkland Parkplace | Design Review | 12.07.2015



10 FT DIAMETER PLANTER WITH INTEGRAL WOOD SEAT



16 FT DIAMETER PLANTER WITH CAP

MATERIALS PLAN | ENLARGEMENT 3

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STANDARD CONCRETE PEDESTRIAN AND VEHICULAR



2'X2' SCORED CONCRETE SIDEWALKS SCORED CONCRETE CROSSINGS CONCRETE ROAD

CRUSHED STONE



CRUSHED STONE SURFACING AT FREESTANDING PLANTER AREA BOTTICINO / CREAM COLOR

WOOD DECKING (IPE OR SIMILAR)



STADIUM SEATING AND DECKING

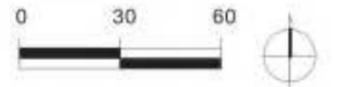
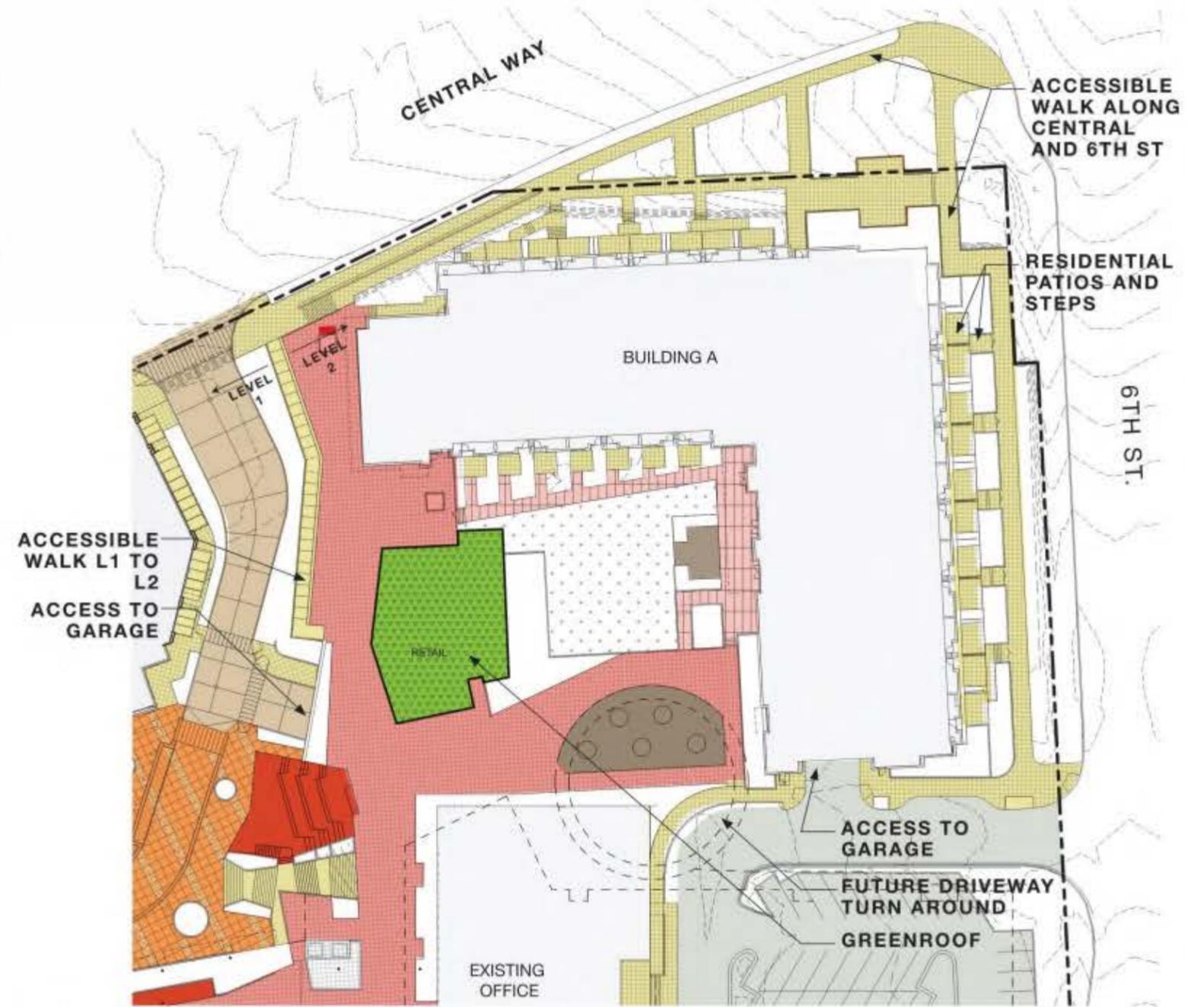
PEDESTRIAN PEDESTAL PAVERS



2' X 2' STANDARD PRECAST PEDESTAL PAVER AT L2 - BLEND OF 2 GRAY COLORS W/ TAN ACCENT

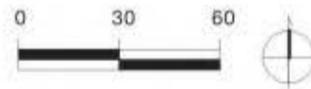
PEDESTAL PAVERS COLORS: GRAY, CHARCOAL, TAN - (MUTUAL MATERIALS VANCOUVER BAY SERIES OR SIM.)

1'X3' PLANK PRECAST PAVER AT RESIDENTIAL BUILDING



MATERIALS PLAN | ENLARGEMENT 4

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STANDARD CONCRETE PEDESTRIAN AND VEHICULAR



2'X2' SCORED CONCRETE SIDEWALKS

SCORED CONCRETE CROSSINGS

CRUSHED STONE



CRUSHED STONE SURFACING AT FREESTANDING PLANTER AREA

BOTTICINO / CREAM COLOR

WOOD DECKING (IPE OR SIMILAR)



PLAYGROUND SURFACE



RUBBERIZED SAFETY PLAY SURFACE

PEDESTRIAN PEDESTAL PAVERS



2' X 2' STANDARD PRECAST PAVER BLEND OF 3 COLORS

PEDESTAL PAVERS COLORS: GRAY, CHARCOAL, TAN - (MUTUAL MATERIALS VANCOUVER BAY SERIES OR SIM.)

SITE LIGHTING PLAN | OVERALL

Kirkland Parkplace | Design Review | 12.07.2015

RIGHT-OF-WAY*

- Vehicular and/or Pedestrian Pole Light (to be coordinated with City of Kirkland)

PRIMARY INTERNAL STREET*

- Vehicular and/or Pedestrian Pole Light
- Uplight (In Landscape)

PEDESTRIAN PLAZAS*

- Pedestrian Pole Light / Feature Light
- Step / Wall Lighting
- Light Bollards
- Uplight (In Landscape)

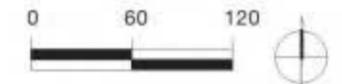
PARKING AREAS*

- Vehicular Pole Light

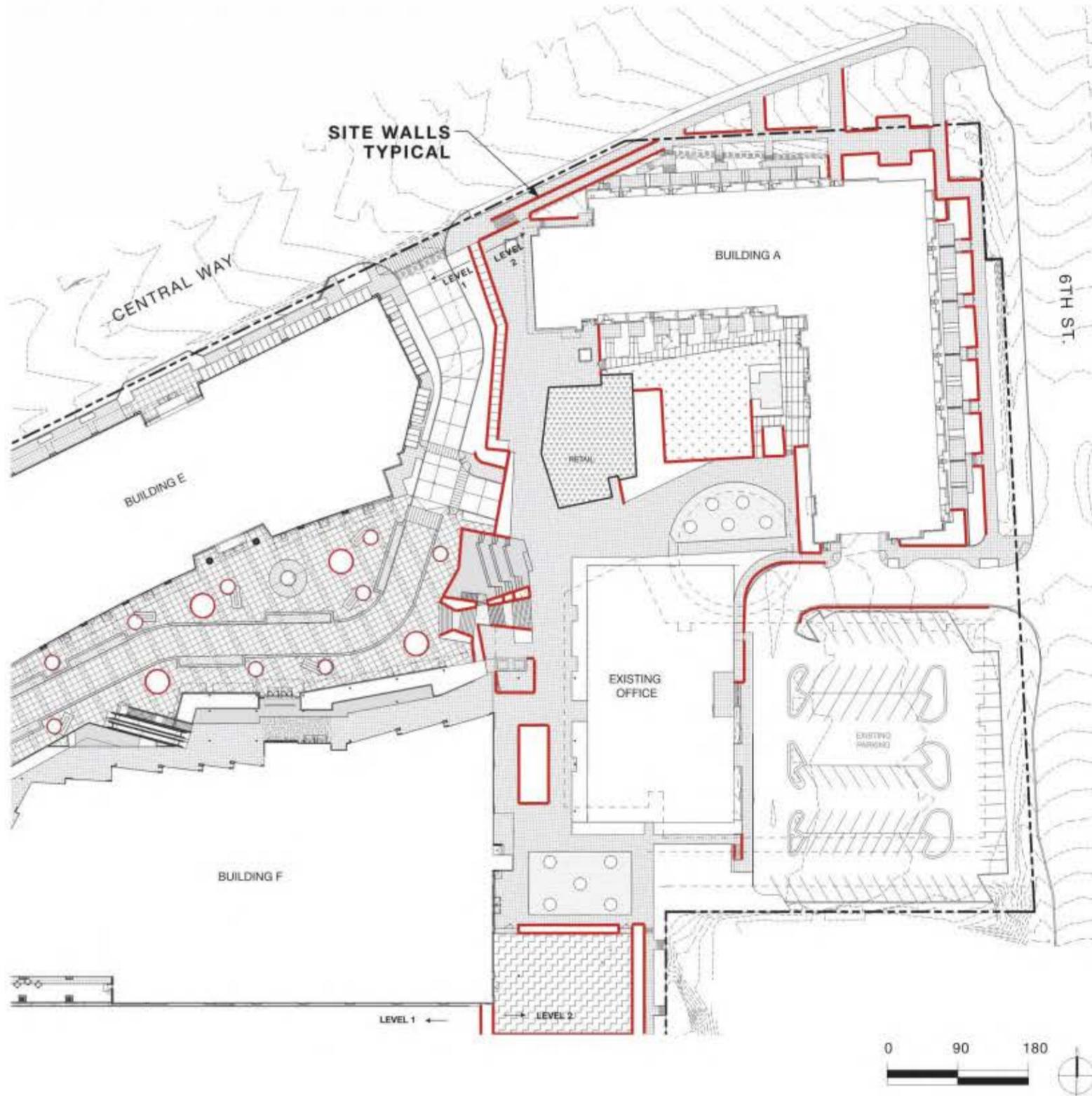
REPRESENTATIVE MANUFACTURER'S*

- LUMEC
- KIM
- POULSEN
- BK LIGHTING
- SISTEMALUX

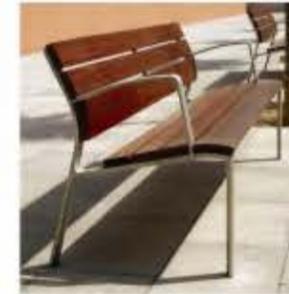
* LIGHT TYPES SHOWN ARE REPRESENTATIVE OF STYLE AND QUALITY. FINAL SELECTIONS INCLUDING MANUFACTURER AND QUANTITY TO BE DETERMINED. TYPES OF LIGHTING WITHIN EACH ZONE MAY VARY DEPENDING ON FINAL LIGHTING PLAN.



SITE SEAT WALL / LOW WALL DIAGRAM



SITE AMENITIES**



PLAZA BENCH



PARK BENCH



CONCRETE SEATING /
SITE WALLS



SEASONAL COLOR -
PLANTERS



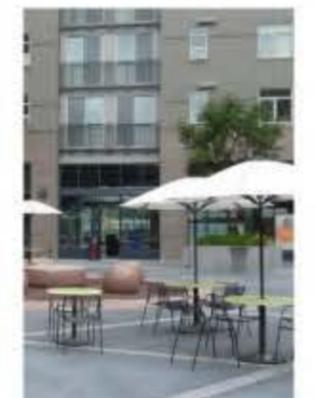
BIKE RACK



WASTE RECEPTACLE



MOVABLE
FURNITURE



TABLES AND
UMBRELLAS

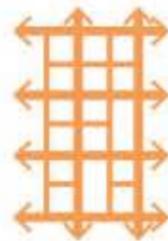
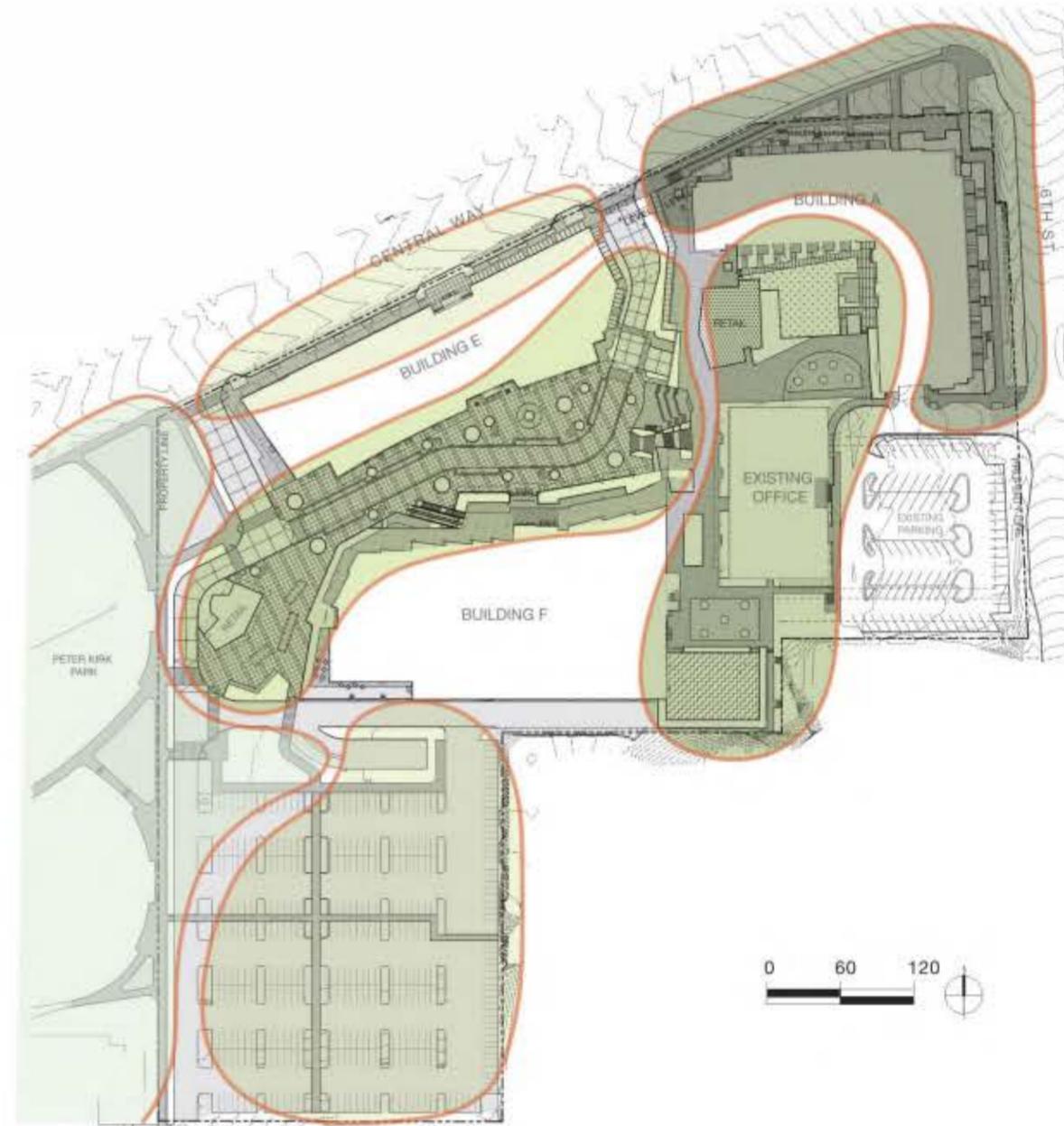
**FINAL AMENITY MANUFACTURERS AND MODELS TO BE DETERMINED

PLANTING PLAN | OVERALL

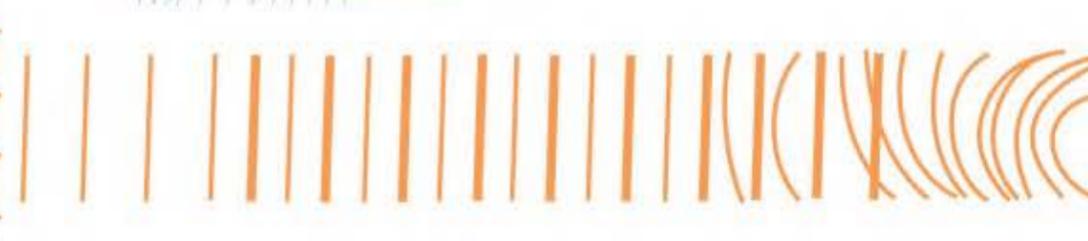
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LANDSCAPE ZONES

- PARK EDGE**
Soft :: Flowing :: Sun-loving :: Textured
- SURFACE PARKING**
Patterned :: Sun-loving :: Visually Clear
- CENTRAL WAY FRONTAGE**
Urban :: Sun-Shade Tolerant :: Tough
- LEVEL 1 :: PLAZA**
Civic :: Visually Permeable :: Sun-Shade Tolerant :: Seasonal color accents
- LEVEL 2 PLAZA**
Urban :: Ordered :: Sun-Shade Tolerant :: Seasonal color accents
- CENTRAL + 6TH**
Natural But Organized :: Native/NW Adaptive :: Layered :: Shade tolerant



URBAN
TAILORED
FINE-GRAINED
OPEN
DURABLE



WOODLANDS
MULTI TEXTURED
COARSE GRAINED
LAYERED
NATURAL

TREE PLAN - PARK EDGE

- LARGE DECIDUOUS SHADE TREES**
Fagus sylvatica - European Beech
Quercus rubra - Red Oak
Quercus alba - White Oak
- ENTRY DRIVE TREES**
Ulmus parvifolia - Chinese Elm
Zelkova serrata - Japanese Elm
- EVERGREEN TREES**
Calocedrus decurrens - Incense Cedar
- COLUMNAR DECIDUOUS TREES**
Acer rubrum 'Bowhall' - Bowhall Red Maple
Acer rubrum 'Armstrong' - Armstrong Red Maple
- SMALL ACCENT TREES**
Amelanchier x grandiflora - Serviceberry
Magnolia 'Galaxy' - Galaxy magnolia
Sorbus acuparia 'Michred' - Cardinal Royal Sorbus

*NOTE: PLANTING IN R.O.W. AND PARK TO BE COORDINATED WITH CITY ARBORIST.



Quercus rubra



Quercus alba



Ulmus parvifolia



Zelkova serrata



Acer rubrum 'Bowhall'



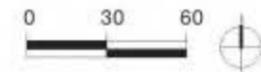
Sorbus acuparia 'Michred'



Magnolia 'Galaxy'



Amelanchier x grandiflora



TREE PLAN | SURFACE PARKING

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TREE PLAN - SURFACE PARKING

- PARKING LOT TREES**
Fraxinus pennsylvanica 'Summit' - Summit Green Ash
Fraxinus pennsylvanica 'Patmore' - Green Ash
Acer rubrum - Red Maple
- COLUMNAR DECIDUOUS TREES**
Carpinus betulus 'Frans Fontaine' - Frans Fontaine Hornbeam
Liriodendron tulipifera 'Fastigiata' - Fastigate Tulip Tree
- FLOWERING ACCENT TREES**
Pyrus calleryana 'Chanticleer' - Chanticleer Flowering Pear
Prunus sargentii 'Columnaris' - Columnar Sargent Cherry
- EVERGREEN TREES**
Thuja plicata - Western Red cedar

*NOTE: PLANTING IN R.O.W. AND PARK TO BE COORDINATED WITH CITY ARBORIST.



Fraxinus pennsylvanica 'Summit'



Fraxinus pennsylvanica 'Patmore'



Acer rubrum



Pyrus calleryana 'Chanticleer'



Thuja plicata



Liriodendron tulipifera 'Fastigiata'



Carpinus betulus 'Frans Fontaine'



Prunus sargentii 'Columnaris'



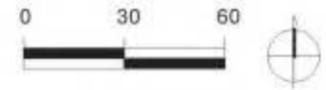
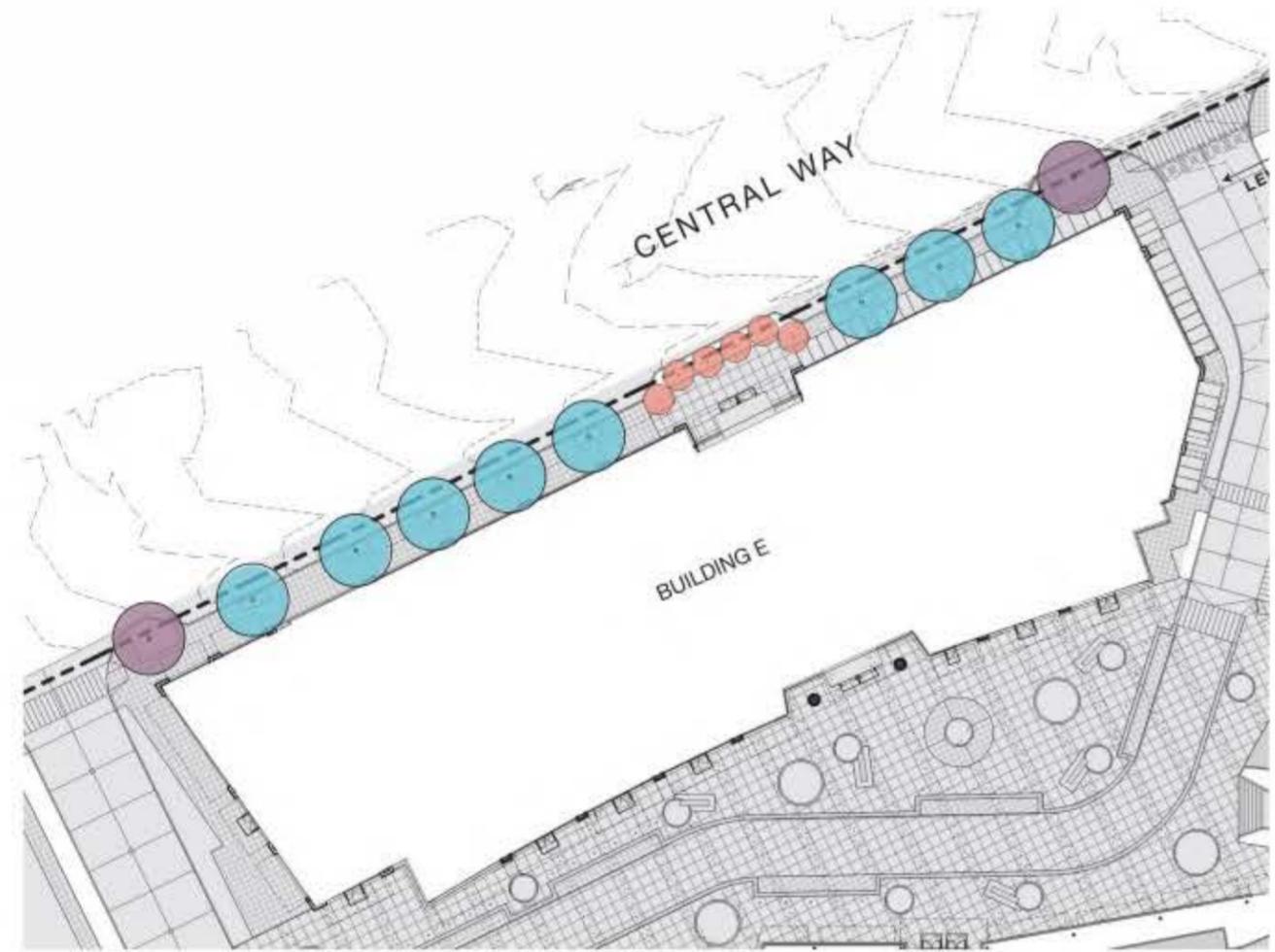
TREE PLAN | CENTRAL WAY FRONTAGE

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TREE PLAN - CENTRAL WAY FRONTAGE

- **STREET TREES**
Acer rubrum 'Bowhall' - Bowhall Red Maple
Acer rubrum 'Scarsen' - Scarlet Sentinel Maple
Acer truncatum x platanoides 'Keithsform' - Norwegian Sunset Maple
- **ENTRY DRIVE TREES**
Ulmus parvifolia - Chinese Elm
Zelkova serrata - Japanese Elm
- **FLOWERING ACCENT TREES**
Stewartia pseudocamellia - Stewartia
Amerlanchier grandiflora - Serviceberry

*NOTE: PLANTING IN R.O.W. AND PARK TO BE COORDINATED WITH CITY ARBORIST.



Acer rubrum 'Scarsen'



Ulmus parvifolia



Zelkova serrata



Amerlanchier grandiflora



Stewartia pseudocamellia

TREE PLAN | LEVEL 1 PLAZA

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TREE PLAN - LEVEL 1 PLAZA

- LARGE DECIDUOUS SHADE TREE (MATCHING + SPECIMEN)**
Cercidiphyllum - Katsura Tree
Fagus grandifolia - Beech
Fraxinus - Ash
Quercus - Oak
- MEDIUM TREES**
Acer griseum - Paperbark maple
Acer palmatum - Japanese maple
Cladrastis kentukea - Yellowwood
Parrotia persica - Persian ironwood
Stewartia pseudocamellia - Stewartia
- ENTRY DRIVE TREES**
Ulmus parvifolia - Chinese Elm
Zelkova serrata - Japanese Elm
- SMALL ACCENT TREES**
Amelanchier x grandiflora - Serviceberry
Magnolia 'Galaxy' - Galaxy magnolia
Sorbus aucuparia 'Michred' - Cardinal Royal Sorbus



Fagus grandifolia



Cercidiphyllum japonicum



Acer rubrum 'Karpick'



Amelanchier x grandiflora



Magnolia 'Galaxy'



Sorbus aucuparia 'Michred'



Cladrastis kentukea



TREE PLAN - LEVEL 2 PLAZA

- LARGE DECIDUOUS SHADE TREES**
Cercidiphyllum japonicum - Katsura Tree
Ulmus parvifolia 'Emer II' - Alee Chinese Elm
- COLUMNAR DECIDUOUS TREES**
Acer rubrum 'Armstrong' - Armstrong Maple
Fagus sylvatica 'Fastigiata' - Columnar European Beech
- SMALL ACCENT TREES**
Acer ginnala 'Flame' - Amur maple 'Flame'
Amelanchier x grandiflora 'Autumn Brilliance' - Autumn Brilliance Serviceberry
Cercis canadensis 'Forest Pansy' - Forest Pansy Redbud
Lagerstroemia indica 'Natchez' - Crape Myrtle
Magnolia grandiflora 'Little Gem' - Little Gem Magnolia
- EVERGREEN TREES**
Tsuga heterophylla - Western Hemlock
Pinus flexilis 'Vanderwolf's Pyramid' - Vanderwolf pine
Pinus contorta 'Contorta' - Shore Pine
- GROVE TREES**
Betula utilis var. jacquemontii - Himalayan White Birch
Koelreuteria paniculata - Golden Raintree
Robinia pseudoacacia 'Frisia' - 'Frisia' Black locust

*NOTE: PLANTING IN R.O.W. AND PARK TO BE COORDINATED WITH CITY ARBORIST.



Cercidiphyllum japonicum



Ulmus parvifolia 'Emer II'



Amelanchier x grandiflora



Acer ginnala 'Flame'



Tsuga heterophylla



Fagus sylvatica 'Fastigiata'



Betula utilis var. jacquemontii



TREE PLAN | CENTRAL + 6TH

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TREE PLAN - CENTRAL + 6TH

- **STREET TREES (CENTRAL WAY)**
Acer rubrum 'Bowhall' - Bowhall Red Maple
Acer rubrum 'Scarsen' - Scarlet Sentinel Maple
Acer truncatum x platanoides 'Keithsform' - Norwegian Sunset Maple
- **STREET TREES (6TH STREET)**
Fraxinus pennsylvanica 'Patmore' - Fraxinus pennsylvanica 'Patmore'
- **ENTRY DRIVE TREES**
Ulmus parvifolia - Chinese Elm
Zelkova serrata - Japanese Elm
- **LARGE DECIDUOUS SHADE TREES (SPECIMEN)**
Cercidiphyllum japonicum - Katsura Tree
Acer rubrum - Red Maple
- **SMALL ACCENT TREES**
Acer buergerianum - Trident Maple
Acer circinatum - Vine Maple
Acer palmatum - Japanese Maple
Cornus nuttallii - Pacific Dogwood
Cercis canadensis - Redbud
Stewartia monadelphica - Tall Stewartia

*NOTE: PLANTING IN R.O.W. AND PARK TO BE COORDINATED WITH CITY ARBORIST.



Acer truncatum x platanoides 'Keithsform'



Fraxinus pennsylvanica 'Patmore'



Acer rubrum



Zelkova serrata



Acer palmatum



Cercis canadensis



Stewartia monadelphica



PLANTING PLAN - PARK EDGE

EVERGREEN SHRUBS

- Senecio greyii* - Daisybush
- Choisya ternata* 'Aztec Pearl' - Aztec Pearl Mexican Orange
- Cephalotaxus harringtonia* - Japanese Plum Yew
- Raphiolepis umbellata* 'Minor' - Dwarf Yeddo Hawthorn
- Lonicera pileata* - Privet Honeysuckle

DECIDUOUS SHRUBS

- Viburnum plicatum f. tomentosum* 'Mariesii' - Doublefile Viburnum
- Syringa patula* 'Miss Kim' - Miss Kim Lilac
- Clethra alnifolia* 'Hummingbird' - Hummingbird Summersweet
- Magnolia stellata* - Star Magnolia
- Philadelphus* ssp. - Mock Orange
- Cornus sanguinea* 'Midwinter Fire' - Midwinter Fire Dogwood

GROUNDCOVERS

- Prunus laurocerasus* 'Mount Vernon' - Mt. Vernon Laurel
- Liriope muscari* 'Big blue' - Liriope
- Fragaria chiloensis* - Coastal strawberry
- Euphorbia amygdaloides var. robbiae* - Mrs. Robb's Bonnet

*NOTE: PLANTING IN R.O.W. AND PARK TO BE COORDINATED WITH CITY ARBORIST.

GRASSES

- Miscanthus sinensis* 'Morning Light' - Maiden Grass
- Helictotrichon sempervirens* - Blue Oat Grass
- Pennisetum orientale* 'Karley Rose' - Karley Rose Oriental Fountain Grass
- Calamagrostis x acutiflora* 'Karl Foerster' - Foerster's Feather Reed Grass
- Carex divulsa* - Berkeley Sedge
- Molinia caerulea* ssp. *caerulea* 'Moorflamme' - Purple Moor Grass

PERENNIALS

- Rudbeckia fulgida* - Black-eyed Susan
- Hemerocallis* ssp. - Daylily
- Echinacea purpurea* - Purple Coneflower
- Agapanthus x 'Monmid'* - Lily of the Nile
- Schizostylis coccinea* - Kaffir Lily
- Allium 'Globemaster'* - Ornamental Onion

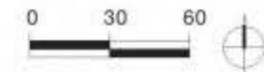
PARK REPAIRATION AREA (HYDROSEED)



Rhaphiolepis umbellata 'Minor' | *Choisya ternata* 'Aztec Pearl' | *Syringa patula* 'Miss Kim' | *Cornus sanguinea* 'Midwinter Fire' | *Prunus laurocerasus* 'Mount Vernon'



Miscanthus sinensis 'Morning Light' | *Helictotrichon sempervirens* | *Rudbeckia fulgida* | *Agapanthus x 'Monmid'*



PLANTING MATERIAL | SURFACE PARKING

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PLANTING PLAN - SURFACE PARKING

EVERGREEN SHRUBS

- Lonicera pileata* 'Moss Green' - Moss Green Privet Honeysuckle
- Prunus laurocerasus* 'Otto Luyken'
- Senecio greyii* - Daisybush
- Taxus x. media* - Yew

DECIDUOUS SHRUBS

- Physocarpus opulifolius* 'Seward' - Summer Wine Ninebark
- Hypericum inodorum* 'Mystical Red Star' - Mystical Red Star St. John's Wort
- Spiraea x bumalda* 'Dart's Gold'
- Cornus sanguinea* 'Midwinter Fire' - Midwinter Fire Dogwood

GROUNDCOVERS

- Arctostaphylos uva-ursi* - Bearberry
- Fragaria chiloensis* - Coastal strawberry
- Prunus laurocerasus* 'Mount Vernon' - Dwarf english laurel
- Rubus pentalobus* 'Emerald Carpet' - Creeping Bramble

GRASSES

- Helictotrichon sempervirens* - Blue Oat Grass
- Carex Divulsa* - Berkely Sedge
- Miscanthus sinensis* 'Adagio' - Dwarf Maiden Grass



Lonicera pileata 'Moss Green'



Senecio greyii



Physocarpus opulifolius 'Seward'



Cornus sanguinea 'Midwinter Fire'



Spiraea x bumalda



Rubus pentalobus 'Emerald Carpet'



Fragaria chiloensis



Carex Divulsa



Miscanthus sinensis 'Adagio'



PLANTING MATERIAL | CENTRAL WAY FRONTAGE

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PLANTING PLAN - CENTRAL WAY FRONTAGE

EVERGREEN SHRUBS

Prunus laurocerasus 'Otto Luyken' - Otto Luyken Laurel
Lonicera pileata 'Moss Green' - Moss Green Privet Honeysuckle
Sarcococca ruscifolia - Sweet box

DECIDUOUS SHRUBS

Cornus sericea 'Kelsey' - Dwarf Red-Osier Dogwood
Clethra alnifolia 'Hummingbird' - Hummingbird Summersweet

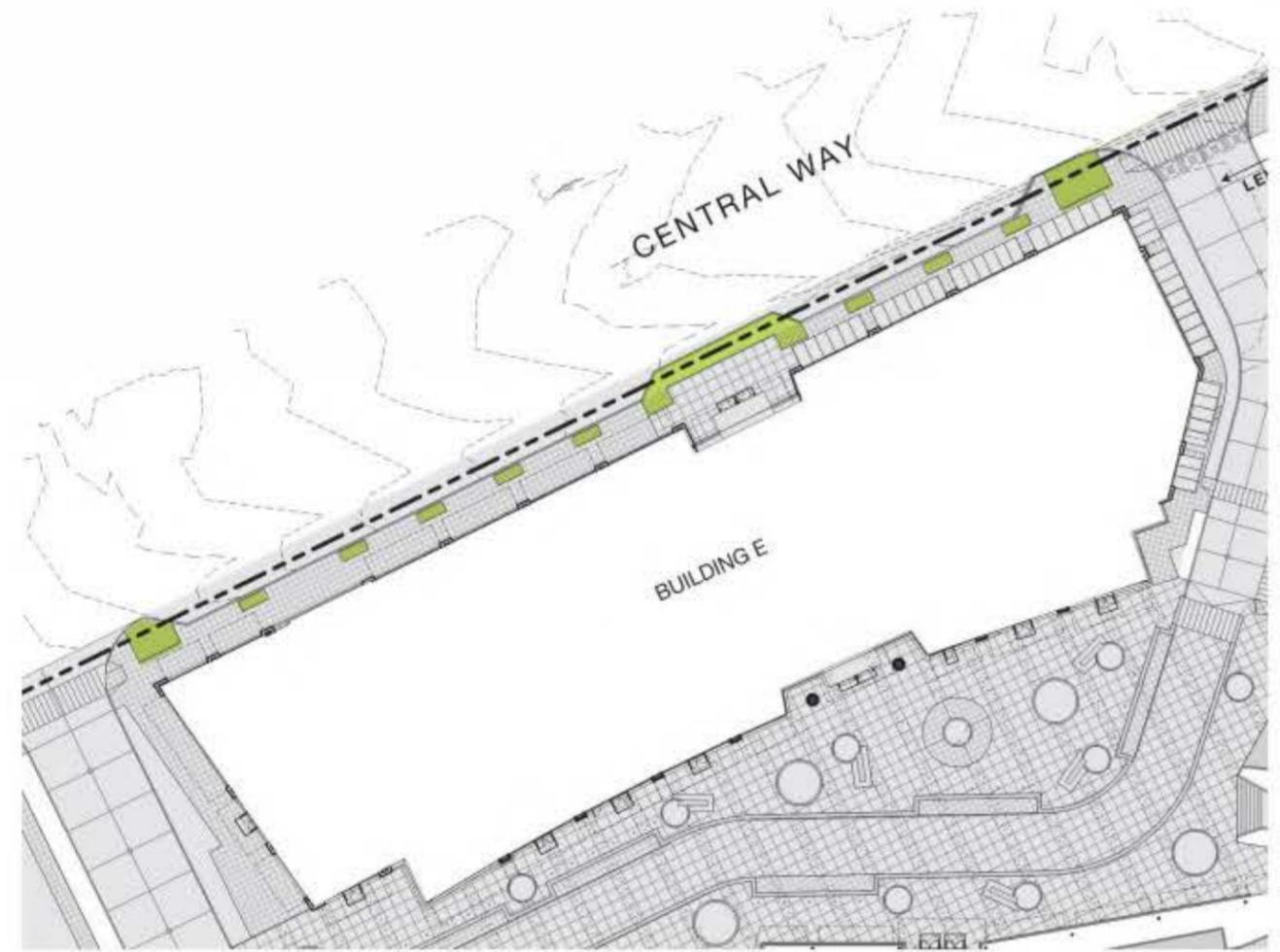
GROUNDCOVERS

Sarcococca hookeriana var. *humilis* - Himalayan Sweet Box
Liriope muscari 'Big Blue' - Liriope
Rubus pentalobus 'Emerald Carpet' - Creeping Bramble

PERENNIALS

Heuchera - Coral Bells
Alchemilla mollis - Lady's Mantle
Astilbe 'Delft Lace' - Delft Lace Astilbe
Ligularia stenocephala 'Little Rocket' - Little Rocket *Ligularia*

*NOTE: PLANTING IN R.O.W. AND PARK TO BE COORDINATED WITH CITY ARBORIST.



Prunus laurocerasus 'Otto Luyken' | *Sarcococca ruscifolia* | *Clethra alnifolia* 'Hummingbird' | *Cornus sanguinea* 'Midwinter Fire' | *Sarcococca hookeriana* var. *humilis*



Rubus pentalobus 'Emerald Carpet' | *Liriope muscari* 'Big Blue' | *Heuchera* | *Ligularia stenocephala* 'Little Rocket'

PLANTING MATERIAL | LEVEL 1 PLAZA

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PLANTING PLAN - LEVEL 1 PLAZA

EVERGREEN SHRUBS

- Raphiolepis umbellata* 'Minor' - Dwarf Yeddo Hawthorn
- Senecio greyii* - Daisy bush
- Lavandula angustifolia* 'Hidcote Blue' - Hidcote Blue English Lavender
- Lonicera pileata* 'Moss Green' - Privet Honeysuckle
- Cephalotaxus harringtonia* - Japanese Plum Yew
- Choisya ternata* 'Aztec Pearl' - Aztec Pearl Mexican Orange

DECIDUOUS SHRUBS

- Hydrangea paniculata* 'Bombshell' - Bombshell Hydrangea
- Hamamelis x intermedia* 'Arnold Promise' - Witch Hazel
- Chaenomeles speciosa* 'Pink Storm' - Flowering Quince
- Cornus sanguinea* 'Midwinter Fire' - Dwarf Red-Osier Dogwood
- Fothergilla gardenii* - Dwarf fothergilla
- Itea virginica* 'Little Henry' - Virginia Sweetspire
- Rosa Bonica* - Bonica Rose
- Salix purpurea* 'Nana' - Purple Willow

GROUNDCOVERS

- Rubus pentalobus* 'Emerald Carpet' - Creeping Raspberry
- Liriope muscari* - Liriope
- Euphorbia amygdaloides* var. *Robbiae* - Wood Spurge

GRASSES

- Pennisetum orientale* 'Karley Rose' - Fountain Grass
- Miscanthus sinensis* - Maiden Grass
- Carex testacea* - Orange Sedge
- Hakonechloa macra* - Japanese Forest Grass

PERENNIALS

- Agapanthus x 'Manmid'* - Lily of the Nile
- Achillea millefolium* - Yarrow
- Allium 'Globemaster'* - Ornamental Onion
- Hemerocallis* spp. - Daylily
- Crocosmia 'George Davidson'* - Montbretia
- Geum 'Totally Tangerine'* - Avenis
- Schizostylis coccinea* - Kaffir Lily
- Sedum 'Autumn Joy'* - Stonecrop
- Astilbe 'Delft Lace'* - False Spirea
- Anemone x hybrida 'Honorine jobert'* - Windflower

GREEN ROOF

- Evergreen Sedum Tiles (trays)



Senecio greyii



Cephalotaxus harringtonia



Salix purpurea 'Nana'



Lavandula angustifolia 'Hidcote Blue'



Euphorbia amygdaloides var. *Robbiae*



Carex testacea



Sedum 'Autumn Joy'



Schizostylis coccinea

PLANTING MATERIAL | LEVEL 2 PLAZA

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PLANTING PLAN - LEVEL 2 PLAZA

EVERGREEN SHRUBS

Rhaphiolepis umbellata 'Minor' - Dwarf Yeddo Hawthorn
Vaccinium ovatum - Evergreen huckleberry
Arbustus undeo 'Compacta' - Compact Strawberry Tree
Myrica californica - Pacific Wax Myrtle
Viburnum davidii - David's Viburnum

DECIDUOUS SHRUBS

Viburnum carlesii - Korean Spice Viburnum
Fothergilla gardenii - Dwarf fothergilla
Philadelphus lewisii 'Blizzard' - Lewis' Mock Orange
Hydrangea paniculata 'Little Lamb' - Dwarf Panicle Hydrangea
Cornus stolonifera 'Farrow' - Arctic Fire Dogwood
Ribes sanguineum 'King Edward' - King Edward flowering currant

GROUNDCOVERS

Arctostaphylos uva-ursi - Bearberry
Fragaria chiloensis - Coastal strawberry
Bergenia 'Baby Doll' - Elephant ears
Prunus laurocerasus 'Mount Vernon' - Dwarf english laurel
Polystichum munitum - Western Swordfern

PERENNIALS

Crocsmia 'Emily Mckenzie' - Montbretia
Hemerocallis Stella d'oro - Daylily
Schizostylis coccinea - Crimson flag lily
Aster x frikartii 'Monch' - Aster
Acanthus mollis 'Oak Leaf' - Bear's Breech
Anemone x hybrida 'Honorine jobert' - Windflower
Heuchera ssp. - Coral Bells
Polygonatum odoratum var. *pluriflorum* 'Variegatum' - Variegated Solomon's Seal

VINES

Akebia quinata - Fiveleaf Akebia
Holboellia coriacea - Sausage Vine
Parthenocissus tricuspidata 'Veitchii' - Boston Ivy
Hydrangea integrifolia 'Taiping Shan' - Evergreen Climbing Hydrangea

GREEN ROOF

Evergreen Sedum Tiles (trays)

SOD

*NOTE: PLANTING IN R.O.W. AND PARK TO BE COORDINATED WITH CITY ARBORIST.



Rhaphiolepis umbellata 'Minor' *Vaccinium ovatum* *Viburnum carlesii* *Fothergilla gardenii* *Arctostaphylos uva-ursi*



Polygonatum odoratum var. *pluriflorum* 'Variegatum' *Ribes sanguineum* 'King Edward' *Fragaria chiloensis* *Sedum* tiles



PLANTING MATERIAL | LEVEL 2 PLAZA

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PLANTING PLAN - CENTRAL + 6TH

EVERGREEN SHRUBS

- Sarcococca ruscifolia* - Sweet box
- Mahonia nervosa* - Cascade Oregon-grape
- Kalmia latifolia* - Mountain laurel
- Cephalotaxus harringtonia* - Japanese plum yew
- Leucothoe axillaris* - Coast Leucothoe
- Vaccinium ovatum* - Evergreen Huckleberry

DECIDUOUS SHRUBS

- Cornus sericea 'Farrow'* - Red twig dogwood
- Cornus alba 'Bailhalo'* - Ivory halo dogwood
- Hydrangea quercifolia 'Snow Queen'* - Snow Queen oakleaf hydrangea
- Ribes sanguineum 'King Edward'* - King Edward flowering currant
- Viburnum carlesii* - Korean Spice Viburnum
- Physocarpus opulifolius 'Seaward'* - Summer Wine Ninebark
- Clethra alnifolia 'Hummingbird'* - Hummingbird Summersweet

VINES

- Parthenocissus tricuspidata 'Veitchii'* - Boston Ivy
- Hydrangea integrifolia 'Taping Shan'* - Evergreen Climbing Hydrangea

GROUNDCOVERS

- Liriope spicata* - Liriope
- Acorus gramineus 'Ogon'* - Golden Variegated Sweet Flag
- Asarum caudatum* - Wild Ginger
- Galium odoratum* - Sweet woodruff
- Gaultheria procumbens* - Creeping Wintergreen
- Helleborus 'Ivory Prince'* - Lenten Rose

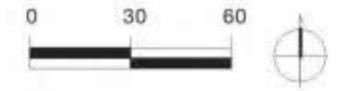
FERNS

- Polystichum munitum* - Western Swordfern
- Blechnum spicant* - Deer Fern
- Dryopteris erythrosora 'Brilliance'* - Autumn fern

PERENNIALS

- Acanthus mollis 'Oak Leaf'* - Bear's Breech
- Polygonatum odoratum var. pluriflorum 'Variegatum'* - Solomon's Seal
- Hosta 'Eola sapphire'* - Eola Sapphire Lilly
- Astilbe 'Delft Lace'* - False Spirea
- Anemone x hybrida 'Honorine jobert'* - Windflower
- Iris Ensata 'Variegata'* - Japanese Iris

*NOTE: PLANTING IN R.O.W. AND PARK TO BE COORDINATED WITH CITY ARBORIST.





TALON

KIRKLAND URBAN

DESIGN RESPONSE CONFERENCE

12.07.2015 | 15-017



BUILDING DESIGN

PERSPECTIVE - CORNER OF 6TH AND CENTRAL



COLLINSWOERMAN | TALON | KIRKLAND PARKPLACE | DECEMBER 7, 2015



BUILDING DESIGN

PERSPECTIVE - CORNER OF 6TH AND CENTRAL



DECEMBER 7, 2015 | KIRKLAND PARKPLACE | TALON | COLLINSWOERMAN



BUILDING DESIGN

PERSPECTIVE - ALONG CENTRAL WAY, LOOKING EAST AT 5TH STREET ENTRY



COLLINSWOERMAN | TALON | KIRKLAND PARKPLACE | DECEMBER 7, 2015



BUILDING DESIGN

PERSPECTIVE - ALONG CENTRAL WAY, LOOKING EAST AT 5TH STREET ENTRY



DECEMBER 7, 2015 | KIRKLAND PARKPLACE | TALON | COLLINSWOERMAN



BUILDING DESIGN

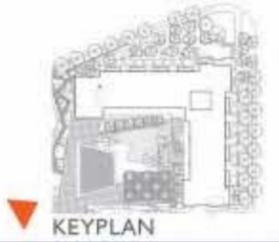
PERSPECTIVE - VIEW FROM UPPER PLAZA



COLLINSWOERMAN | TALON | KIRKLAND PARKPLACE | DECEMBER 7, 2015

BUILDING DESIGN

PERSPECTIVE - VIEW FROM UPPER PLAZA



DECEMBER 7, 2015 | KIRKLAND PARKPLACE | TALON | COLLINSWOERMAN



BUILDING DESIGN

PERSPECTIVE - LOOKING NORTH ALONG 6TH STREET



COLLINSWOERMAN | TALON | KIRKLAND PARKPLACE | DECEMBER 7, 2015

TALON KIRKLAND URBAN
 12.07.15 | 15-017 | 8

WEBER THOMPSON



BUILDING DESIGN

PERSPECTIVE - LOOKING NORTH ALONG 6TH STREET



DECEMBER 7, 2015 | KIRKLAND PARKPLACE | TALON | COLLINSWOERMAN



BUILDING DESIGN

ROWHOUSE PERSPECTIVE



COLLINSWOERMAN | TALON | KIRKLAND PARKPLACE | DECEMBER 7, 2015



BUILDING DESIGN

ROWHOUSE PERSPECTIVE



DECEMBER 7, 2015 | KIRKLAND PARKPLACE | TALON | COLLINSWOERMAN



BUILDING PLANS

LEVEL I



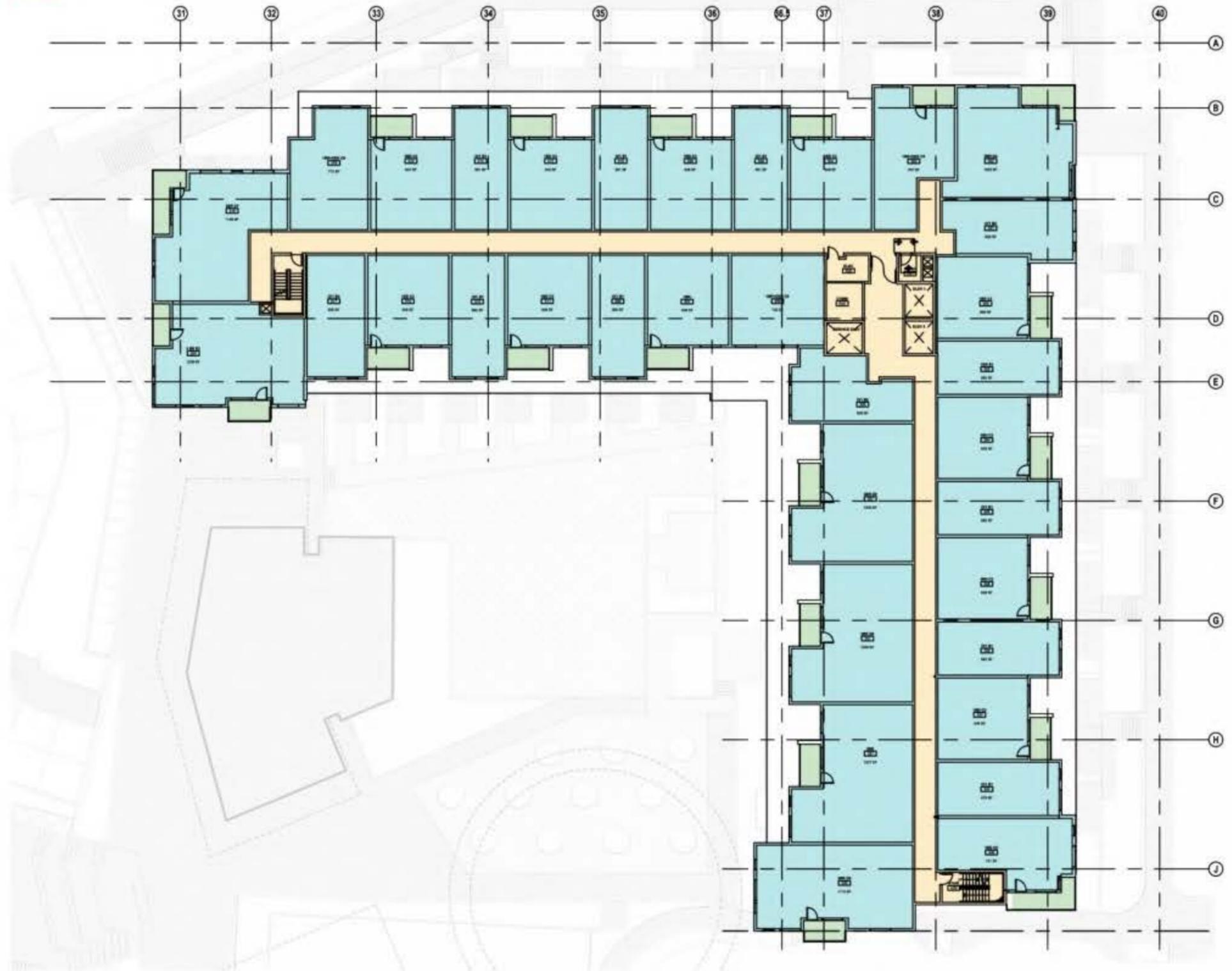
BUILDING PLANS

LEVEL 2



BUILDING PLANS

LEVELS 3 & 4



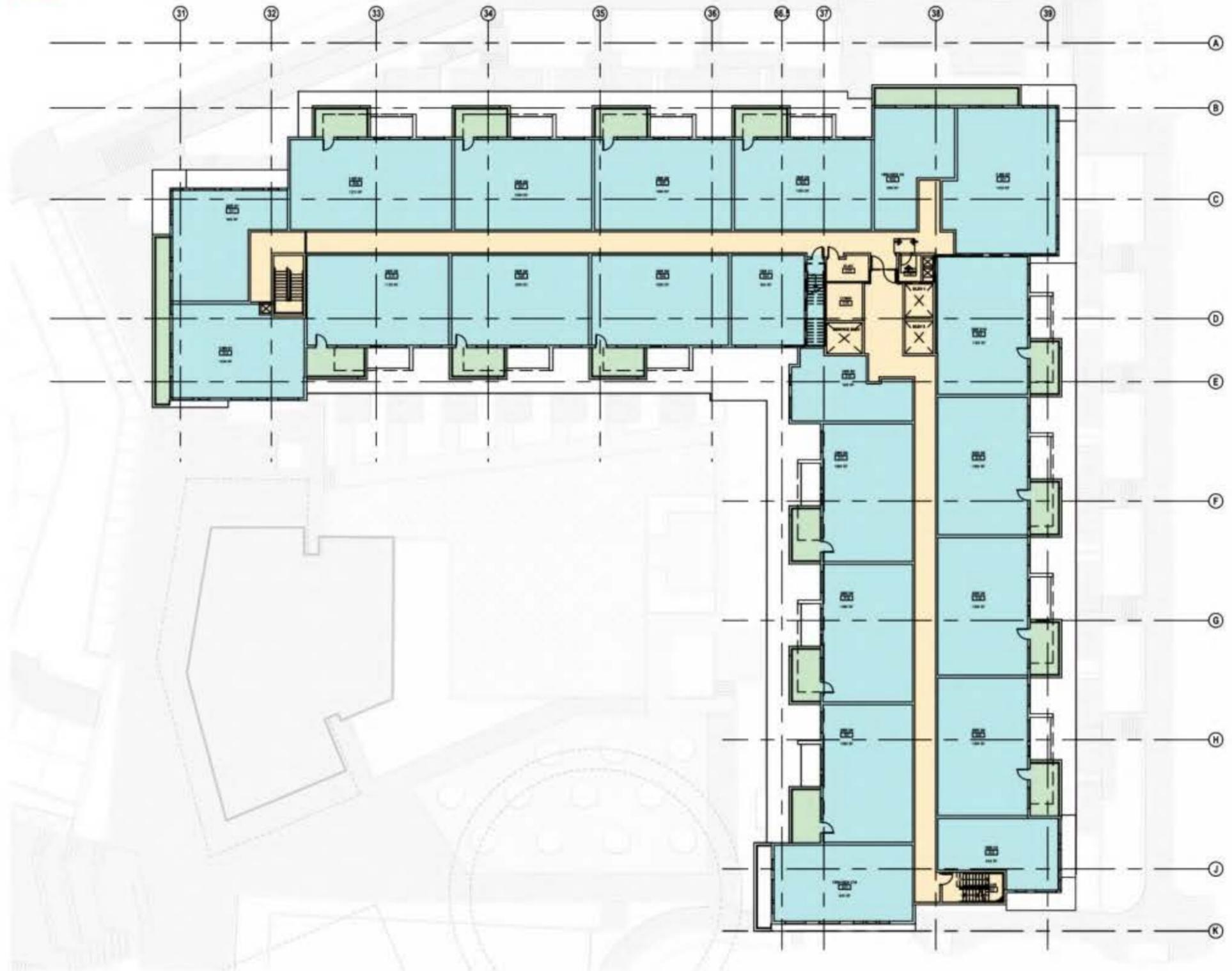
BUILDING PLANS

LEVEL 5



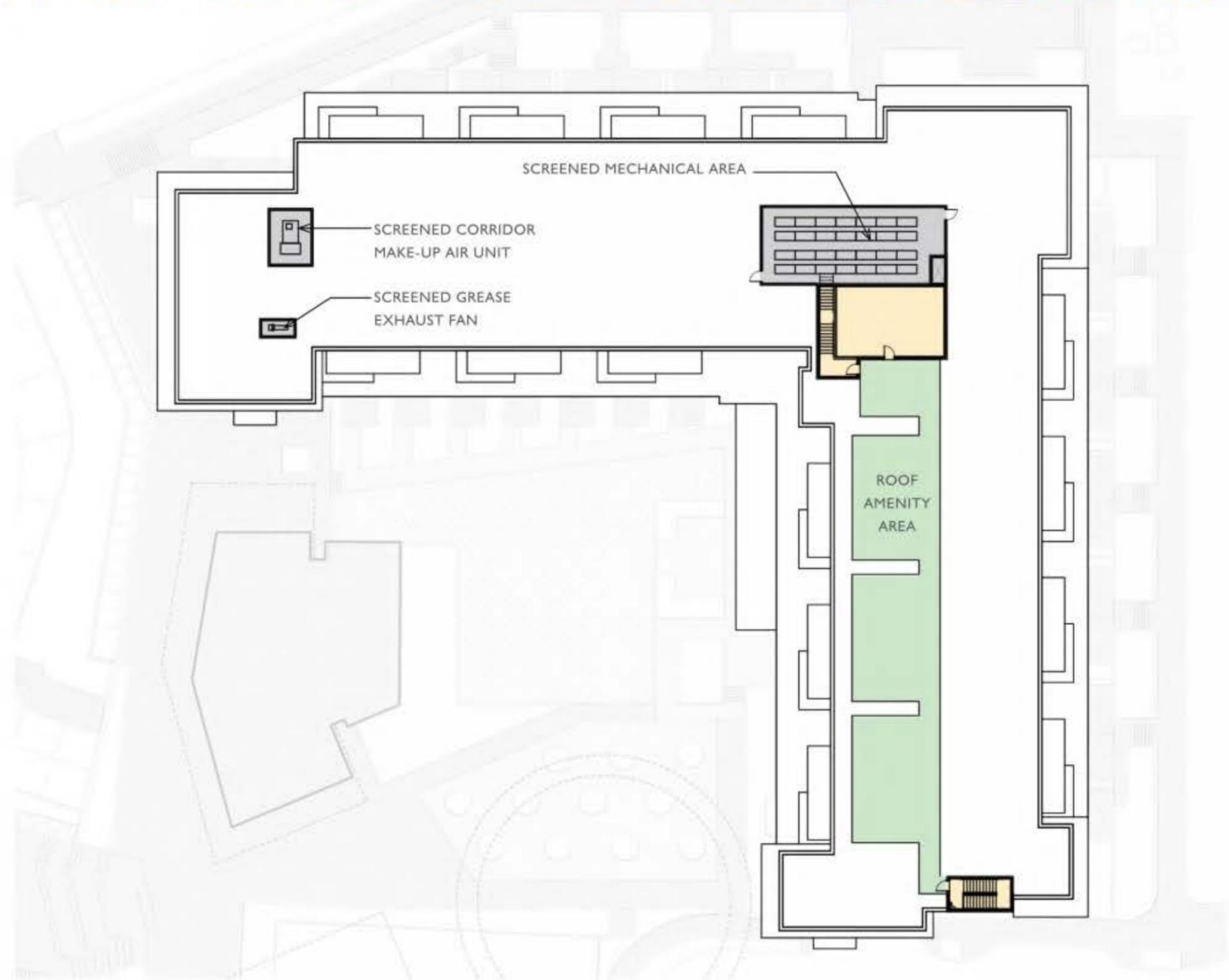
BUILDING PLANS

LEVEL 6



IDENTIFICATION OF ROOFTOP MECHANICAL AREAS

ROOF LEVEL



EXTERIOR MATERIALS



A FIBER CEMENT PANEL



B FIBER CEMENT PANEL



C WOOD GRAIN MATERIAL



D FIBER CEMENT PANEL



E METAL PANEL

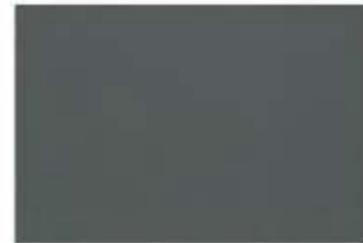


F ARDEX 'CHOCOLATE MOUSSE 14' GROUT

STACKED BOND COAL
F CREEK BRICK W/ SOLDIER COURSE DETAIL



WINDOW FRAME (WITHIN MATERIAL A)



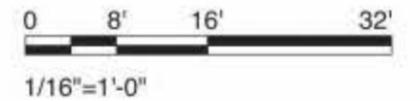
WINDOW FRAME (WITHIN MATERIALS B, E AND BRICK)



METAL COLOR (BALCONIES, HANDRAILS, ETC.)

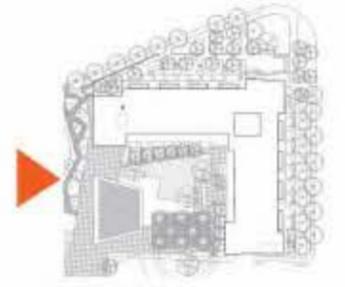
BUILDING DESIGN

NORTH ELEVATION

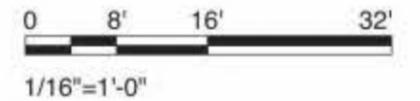


BUILDING DESIGN

WEST ELEVATION



KEYPLAN

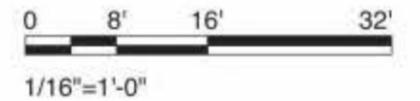


COLLINSWOERMAN | TALON | KIRKLAND PARKPLACE | DECEMBER 7, 2015



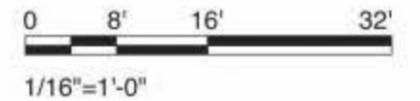
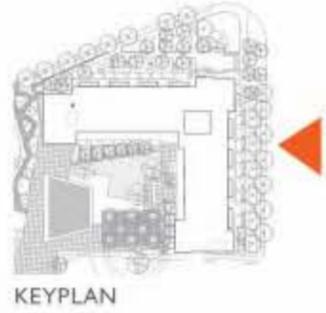
BUILDING DESIGN

SOUTH ELEVATION



BUILDING DESIGN

EAST ELEVATION

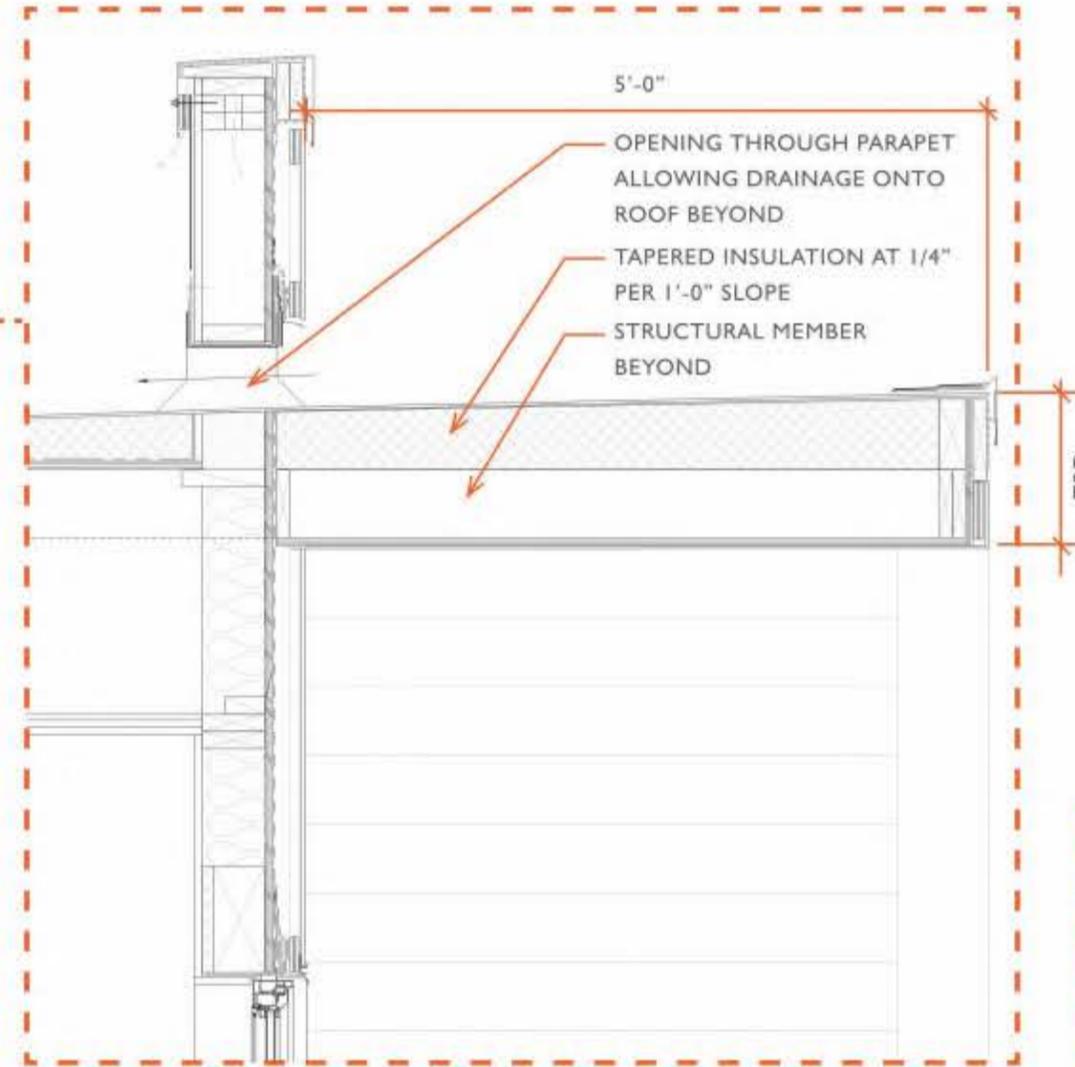
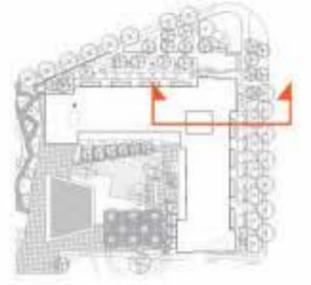


COLLINSWOERMAN | TALON | KIRKLAND PARKPLACE | DECEMBER 7, 2015

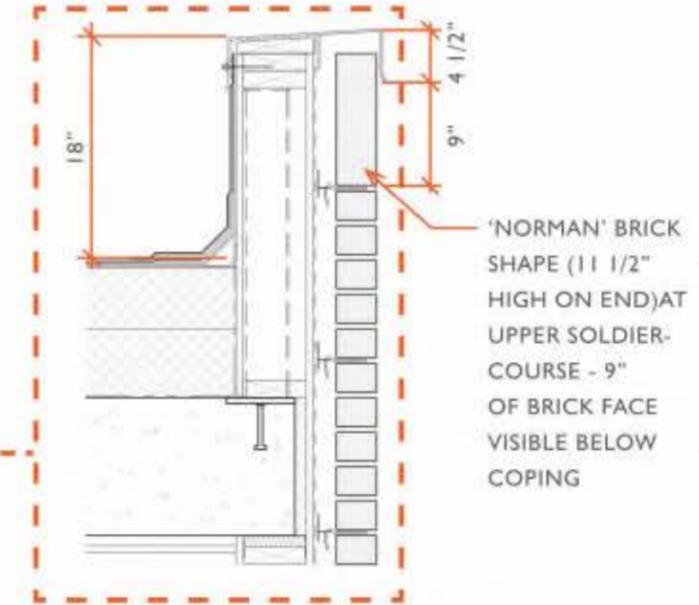


COPING AND DRAINAGE DETAILS

REQUESTED BY BOARD



DRAINAGE DETAIL AT PROJECTING 'FIN' ELEMENT



COPING DETAIL AT ROWHOUSE PARAPET





KIRKLAND PARKPLACE

Mixed-Use Development

DESIGN RESPONSE CONFERENCE #6
BUILDINGS E, F, F1, G, B

WOLLINS
C**O**LLINS
E**R**MAN

RYAN
BUILDING LASTING RELATIONSHIPS

TALON
PRIVATE CAPITAL

DESIGN CONCEPT | BUILDING E

Overview

LOCATOR MAP



SUMMARY - BUILDING E

The base of Building E is comprised of a light colored limestone frame expression that wraps the north, east, and west facades, incorporating abundant glass for visibility into the retail spaces at grade and plenty of light for the office above. Warm grey mullions and wood grained phenolic resin board complement the stone and dark, iron spot brick anchors the base below the retail storefronts. On the south façade, the pilasters and columns are warm grey metal panel, while the wood accents and mullion color remain the same. Retail tenants will have the ability to personalize their store fronts within the confines of the building expression; all retail façade build outs will be subject to the Master Architect review. The central “Great Room” entries incorporate vestibules clad with a rich patinated metal that ties

in with the office entries on Building F. At the tower, a unitized glass curtainwall uses neutral low- e glass and a light silver toned metal panel with darker grey mullion extensions and fins at the east and west, wrapping to the north and south elevations. On the north façade, the curtainwall incorporates a charcoal colored textured terra cotta (or a matte, zinc finish metal panel) with horizontal reveals to add texture. The south curved curtainwall uses a warm gray fritted glass line pattern spandrel above and below the floor line. At the roof, a darker grey metal is used in conjunction with a wood-toned metal soffit to give the roof overhang a soft, warm appearance.



PERSPECTIVE FROM CENTRAL WAY TOWARD BUILDING E



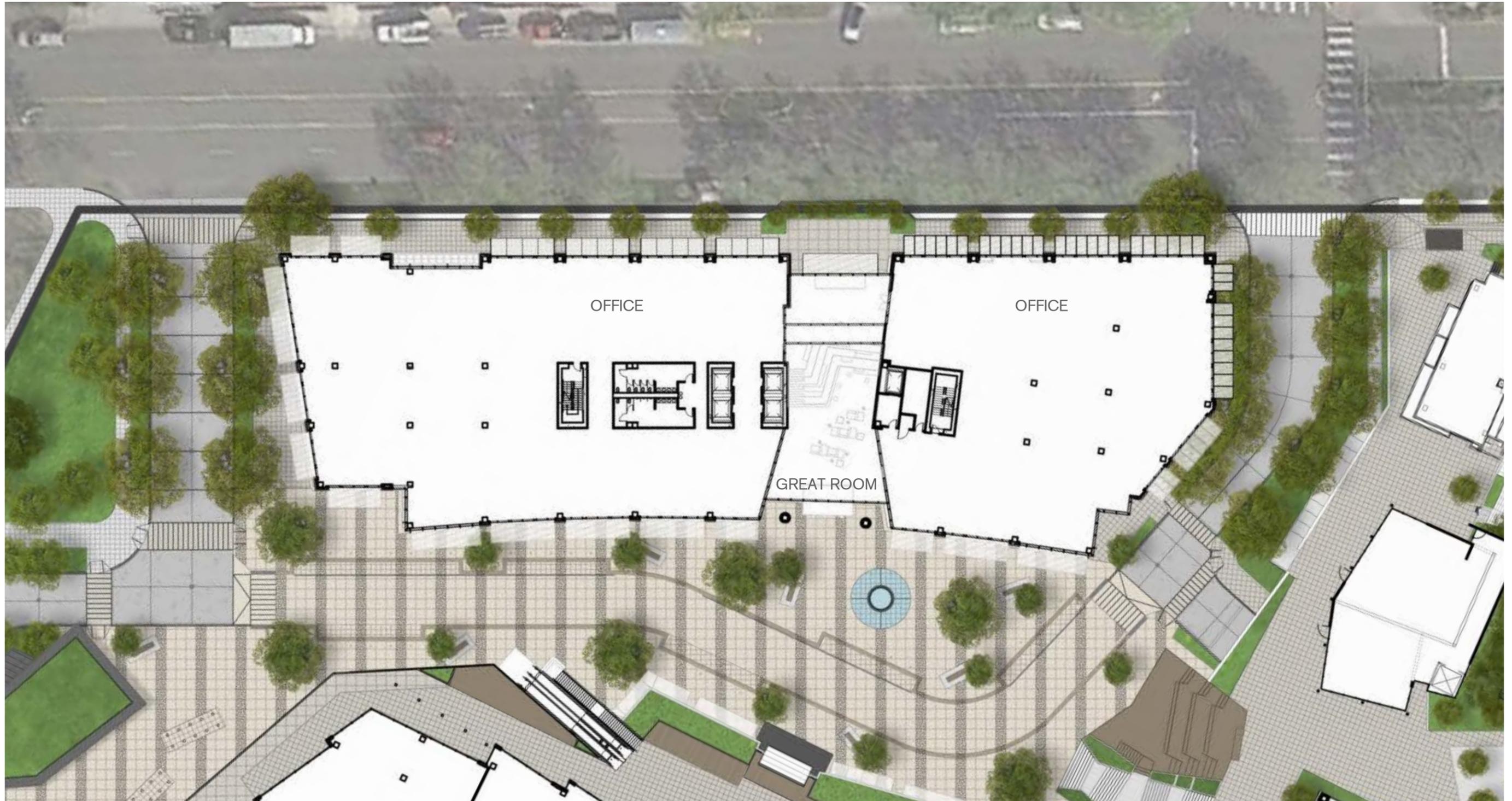
BUILDING E FLOOR PLAN (LEVEL 1)



DESIGN CONCEPT | BUILDING E

Floor Plans

BUILDING E FLOOR PLAN (LEVEL 2)



BUILDING E FLOOR PLAN



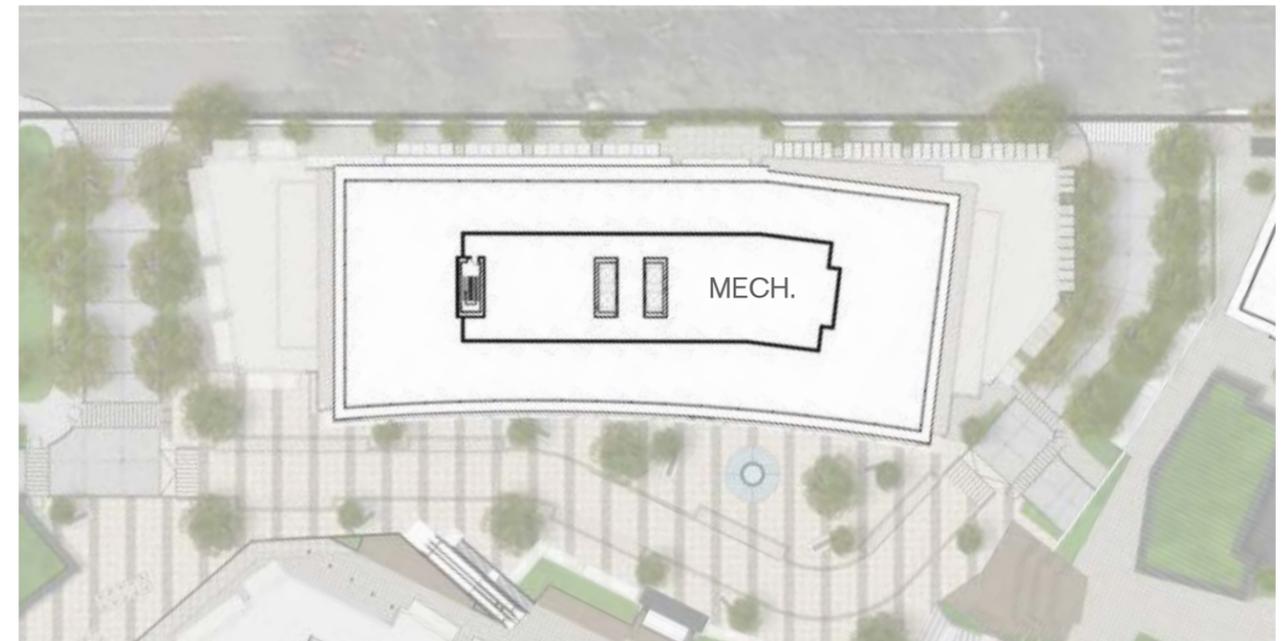
BUILDING E - LEVEL 3



BUILDING E - LEVEL 4-6 (TYP.)



BUILDING E - LEVEL 7



BUILDING E - LEVEL ROOF

DESIGN CONCEPT | BUILDING E

Overview

SUMMARY - GREAT ROOM

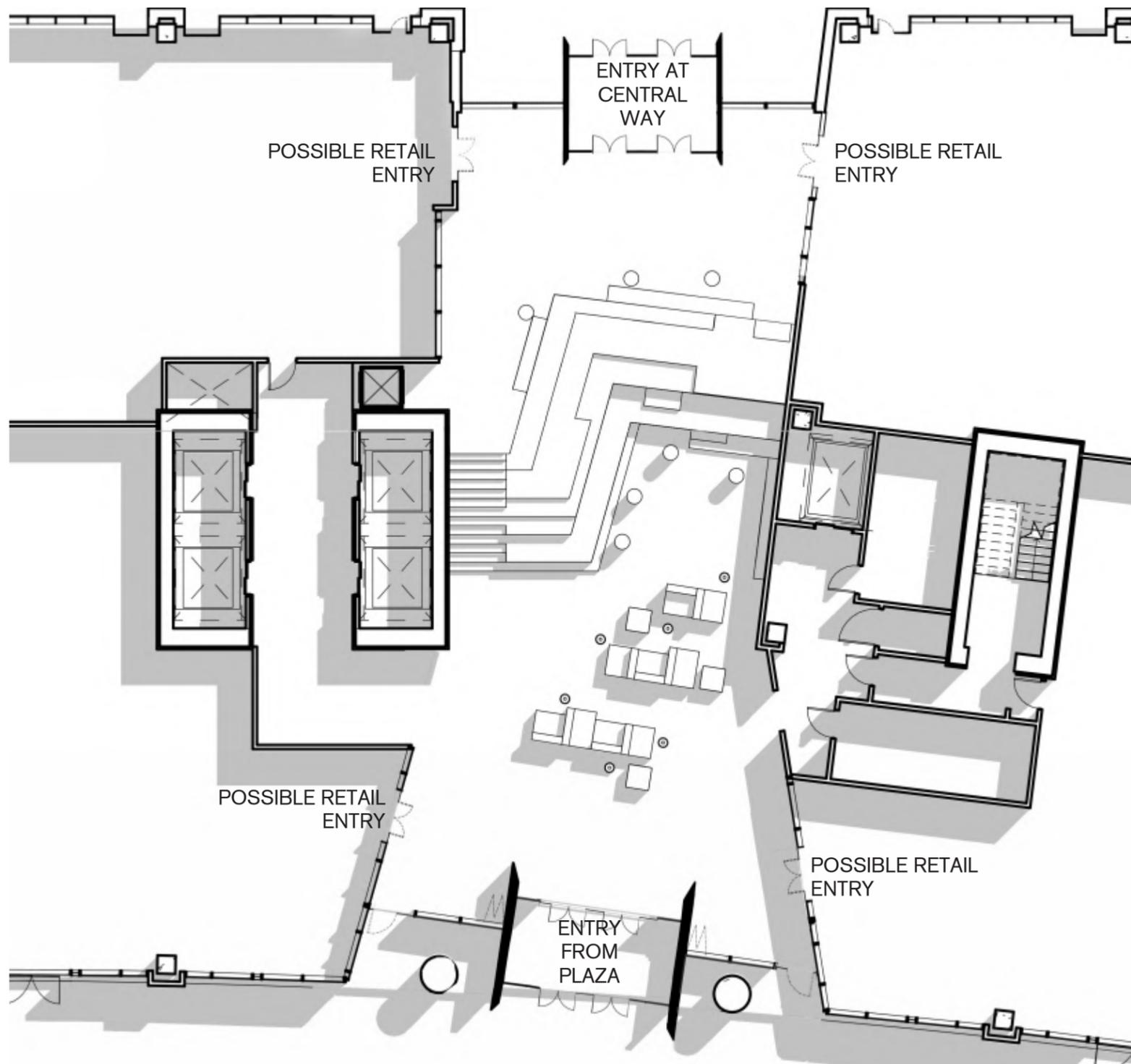
The great room will be a two story enclosed “room” that will serve as a multi-purpose space, accommodating office workers, public, retail patrons and pedestrians. It will incorporate a grand stair/bleacher area, recalling the bleachers above building F1, and providing a relaxed atmosphere to work, eat lunch, hang out or listen to a speaker or performer.

An accessible lift will be provided for an accessible route of travel from Central Way into the site. A skybridge will connect the east and west level two office areas, and provide additional animation to the space. Vestibules at either end will ensure comfort while operable windows/doors at the south façade extend the space to the internal main street plaza. Retail entries are possible at both upper and lower levels, depending on the tenant requirements.

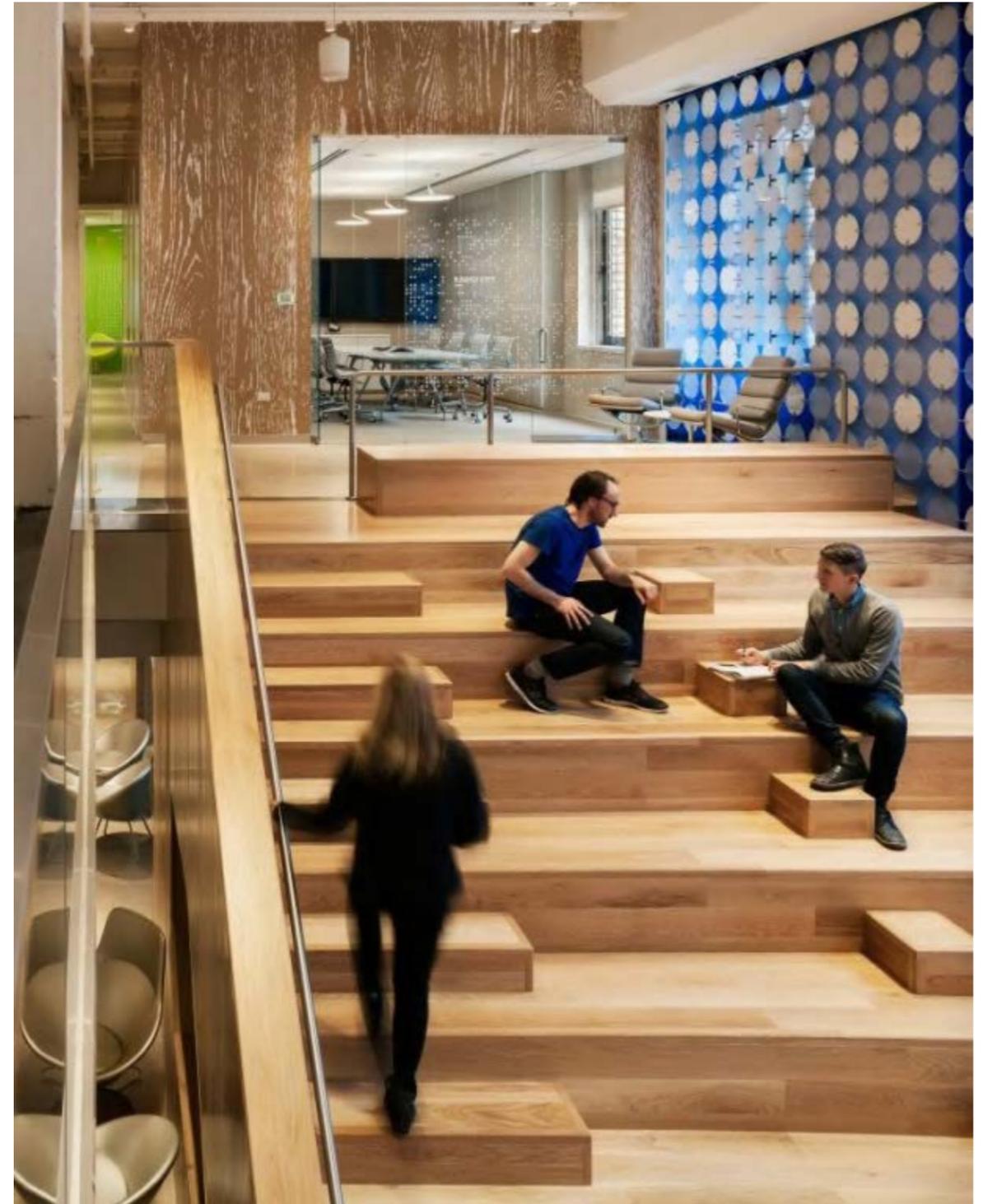
LOCATOR MAP



CONCEPTUAL LAYOUT



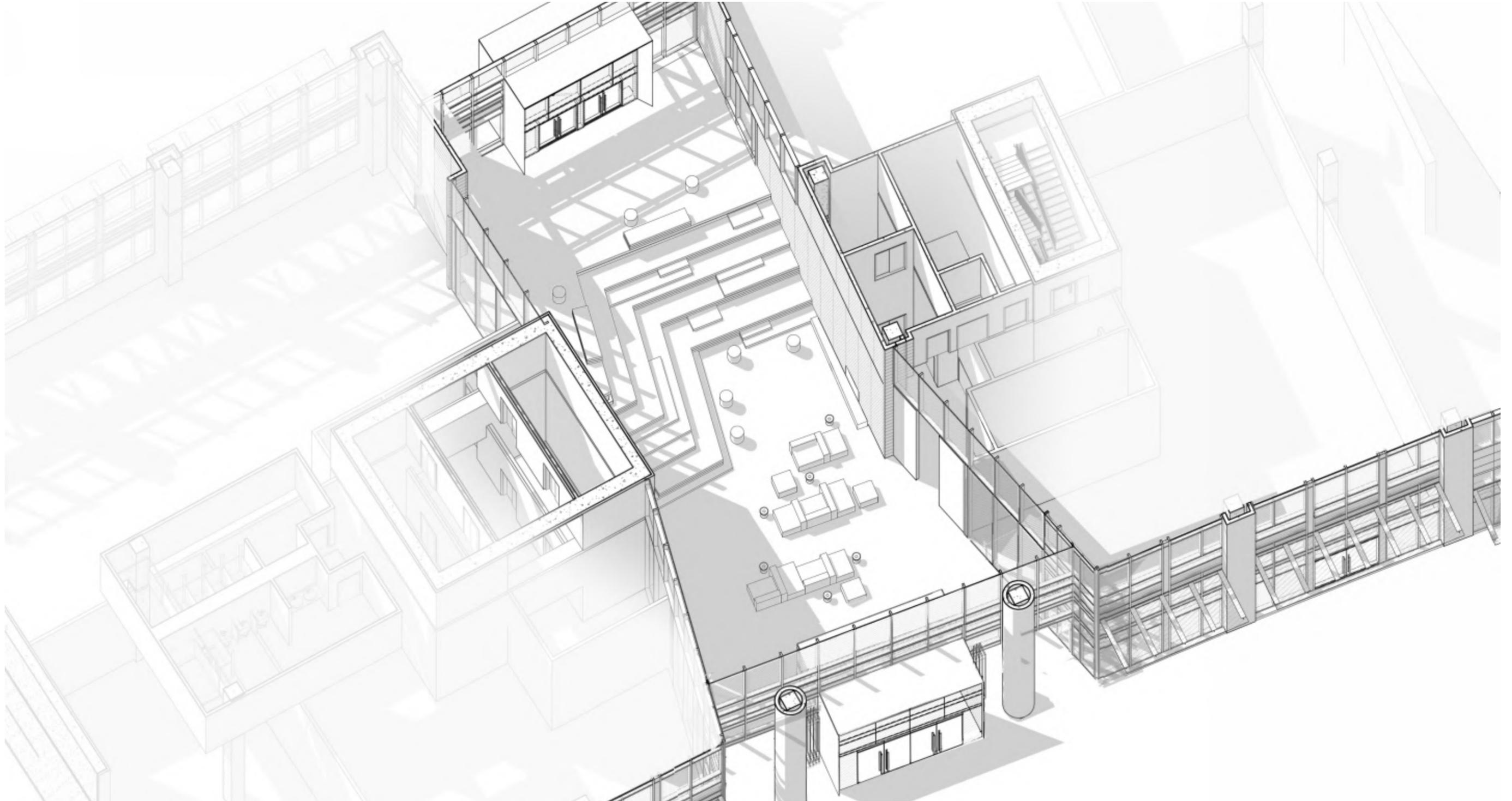
GREAT ROOM BLEACHER CONCEPT



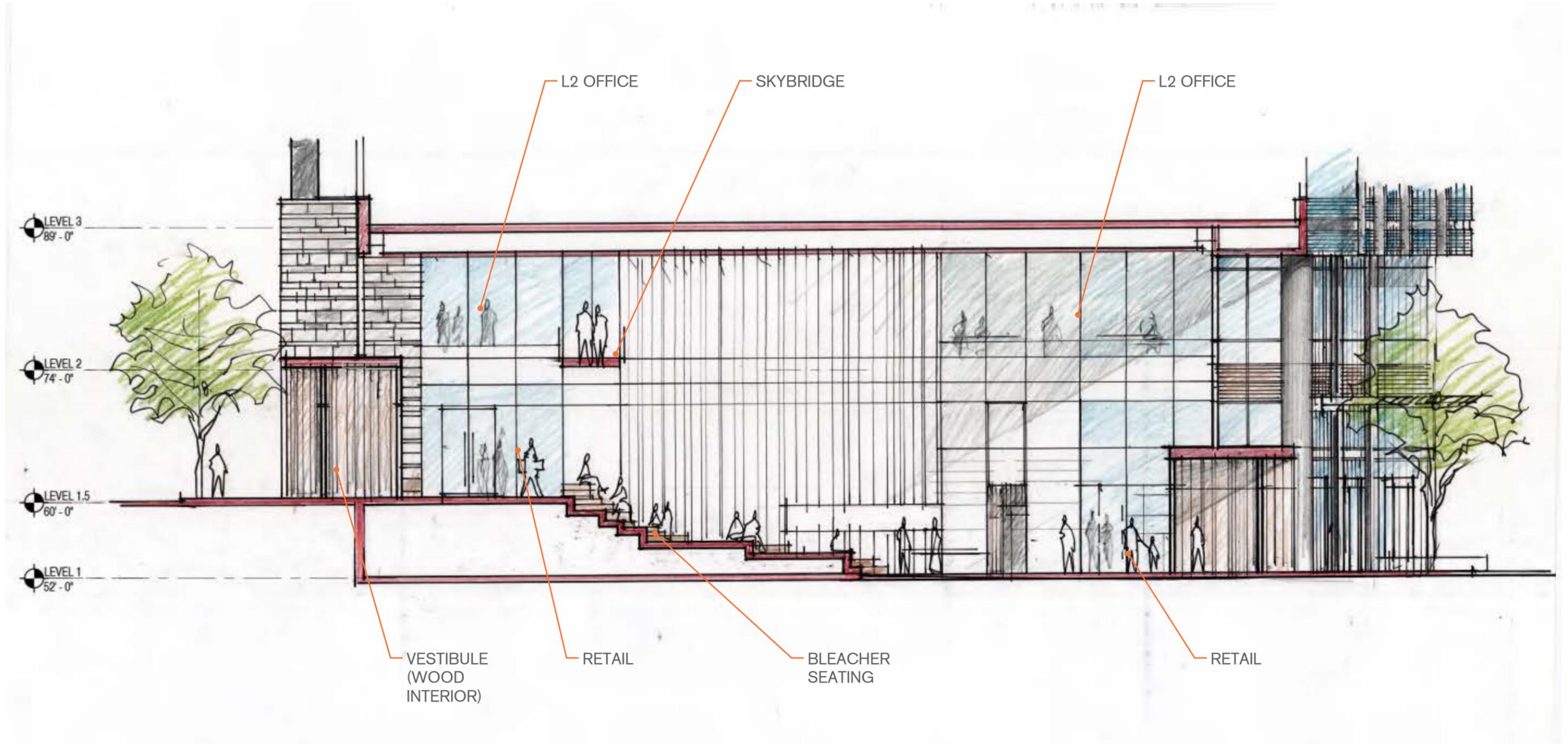
DESIGN CONCEPT | BUILDING E

Axonometric Diagram

DIAGRAM OF GREAT ROOM DESIGN CONCEPT



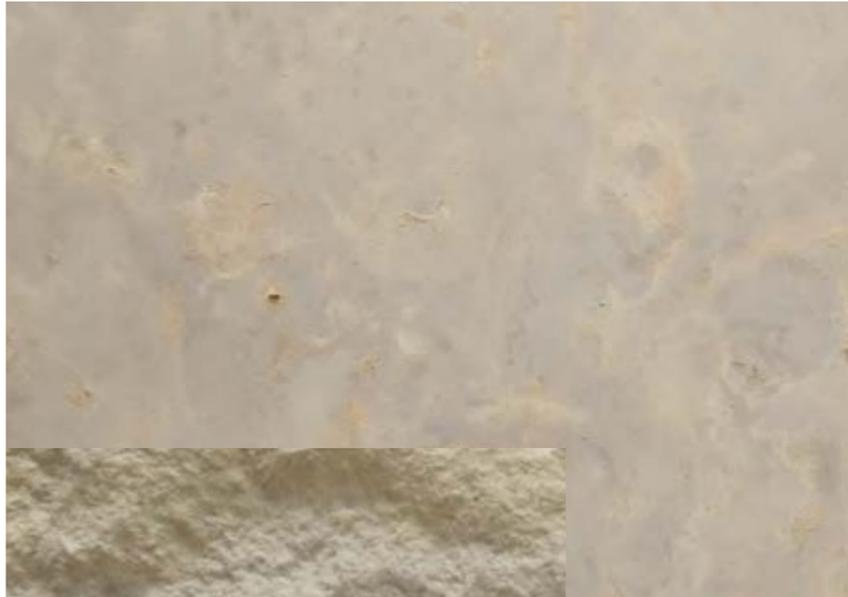
NORTH SOUTH SECTION (FACING EAST)



DESIGN CONCEPT | BUILDING E

Materials and Finishes Palette

BUILDING E PODIUM



E 01 STONE



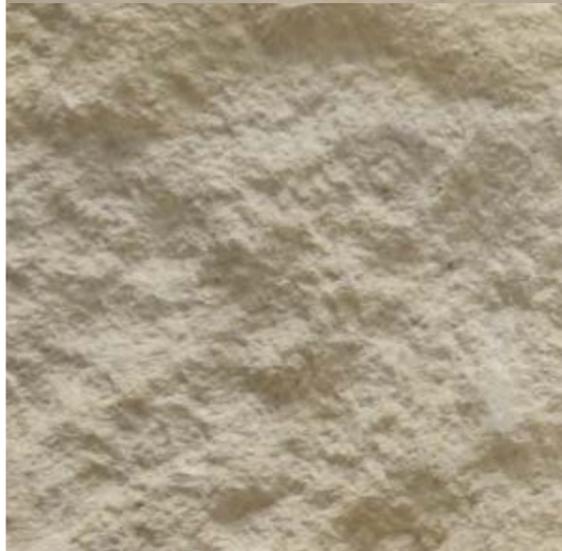
E 10 VISION GLASS



E 05 METAL PANEL DETAILS



E 03 METAL PANEL COLUMN COVER



E 02 BRICK



E 09 WOOD RAINSCREEN



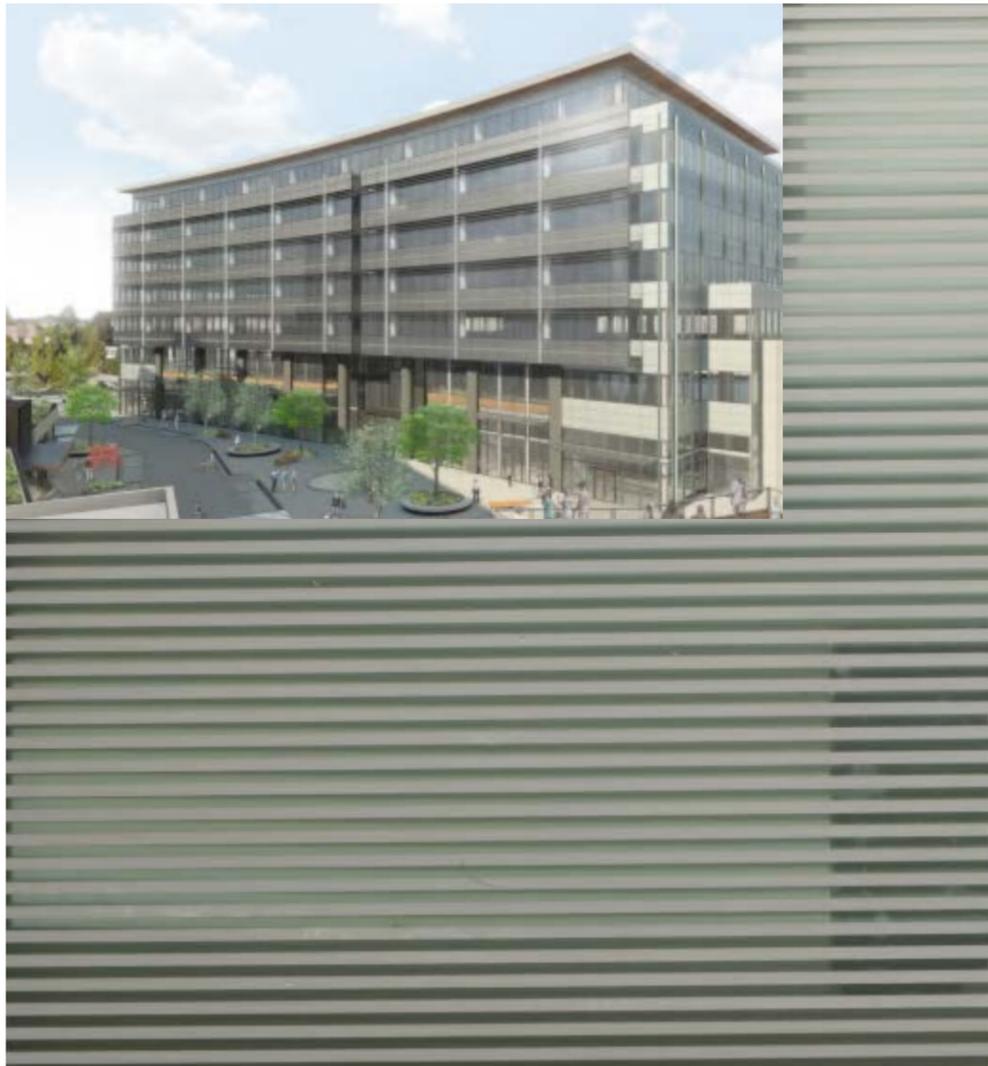
E 13 PATINATED METAL



DESIGN CONCEPT | BUILDING E

Materials and Finishes Palette

BUILDING E TOWER



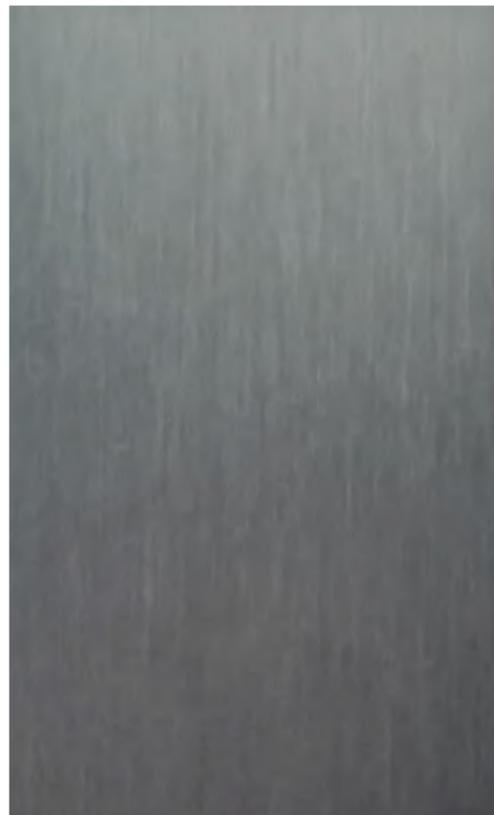
E 12 FRITTED SPANDREL GLASS



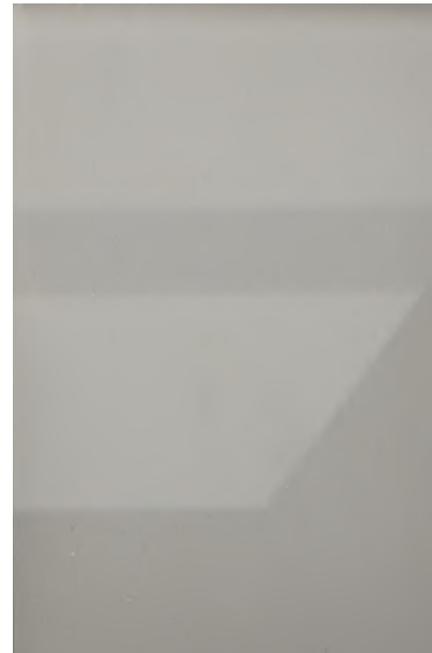
E 08 METAL DETAILS



E 04 METAL PANEL



E 15 GLAZED-IN METAL PANEL



E 11 OPAQUE SPANDREL GLASS



E 07 METAL DETAILS

E 14 METAL SOFFIT



E 05 METAL PANEL

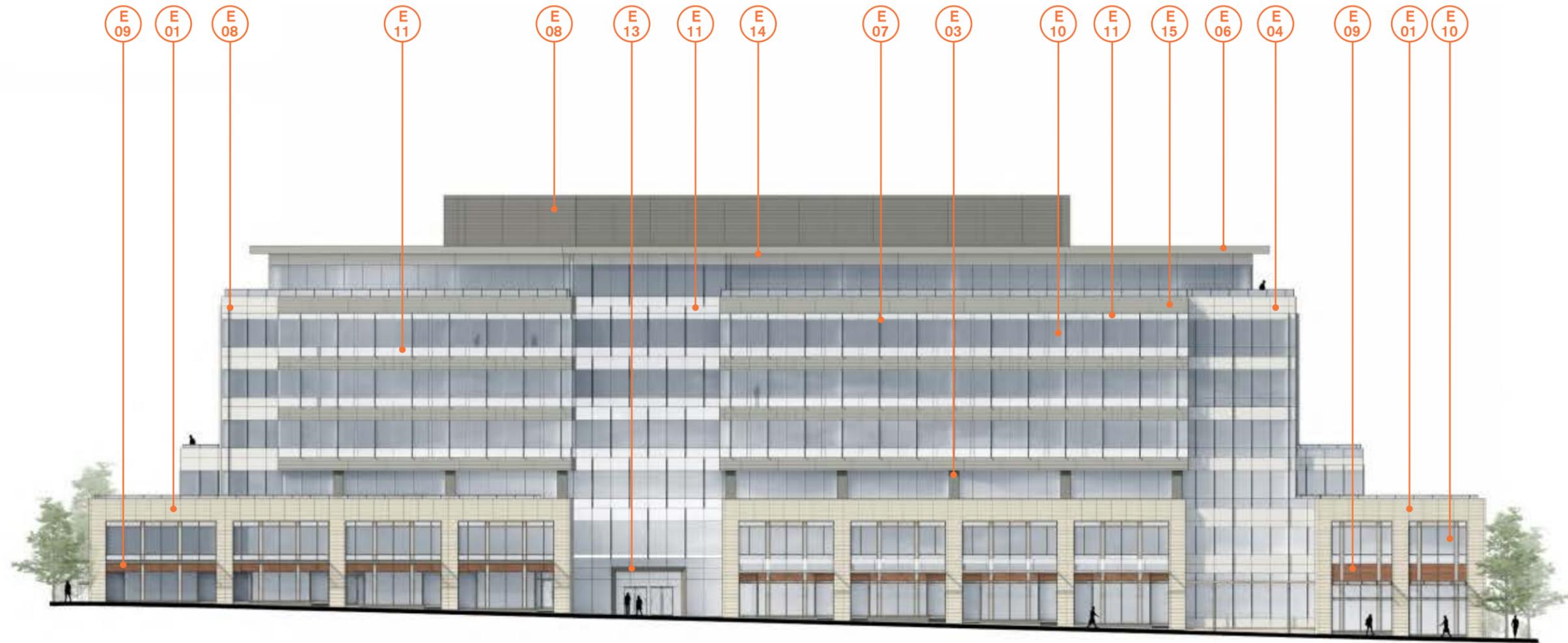


E 06 METAL PANEL

DESIGN CONCEPT | BUILDING E

Elevations

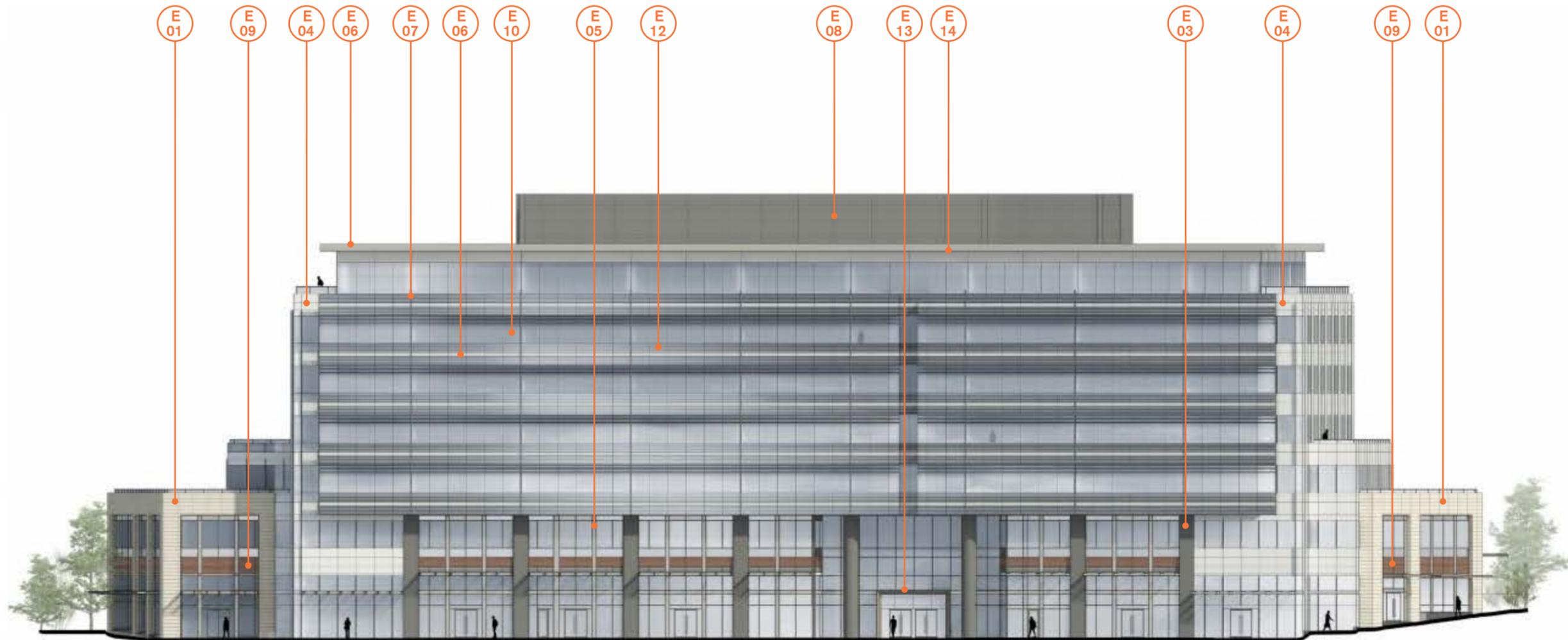
NORTH ELEVATION



LEGEND

- | | | | |
|---|--|--|------------------------------------|
| E 01 STONE (BEIGE / OFF-WHITE) | E 05 METAL PANEL (SILVER GREY) | E 09 WOOD-TONED RAINSCREEN | E 13 PATINATED METAL |
| E 02 BRICK (NORMAN IRON SPOT / SIMILAR) | E 06 METAL PANEL (PEWTER) | E 10 VISION GLASS (NEUTRAL TONE) | E 14 WOOD TONE METAL SOFFIT |
| E 03 METAL PANEL COLUMN COVER (WARM DARK GREY) | E 07 METAL DETAILS (MATTE GREY) | E 11 OPAQUE SPANDREL GLASS (GREY) | E 15 METAL PANEL |
| E 04 PEARL METALLIC METAL PANEL | E 08 METAL DETAILS (DARK GREY METALLIC) | E 12 FRITTED SPANDREL GLASS | |

SOUTH ELEVATION



LEGEND

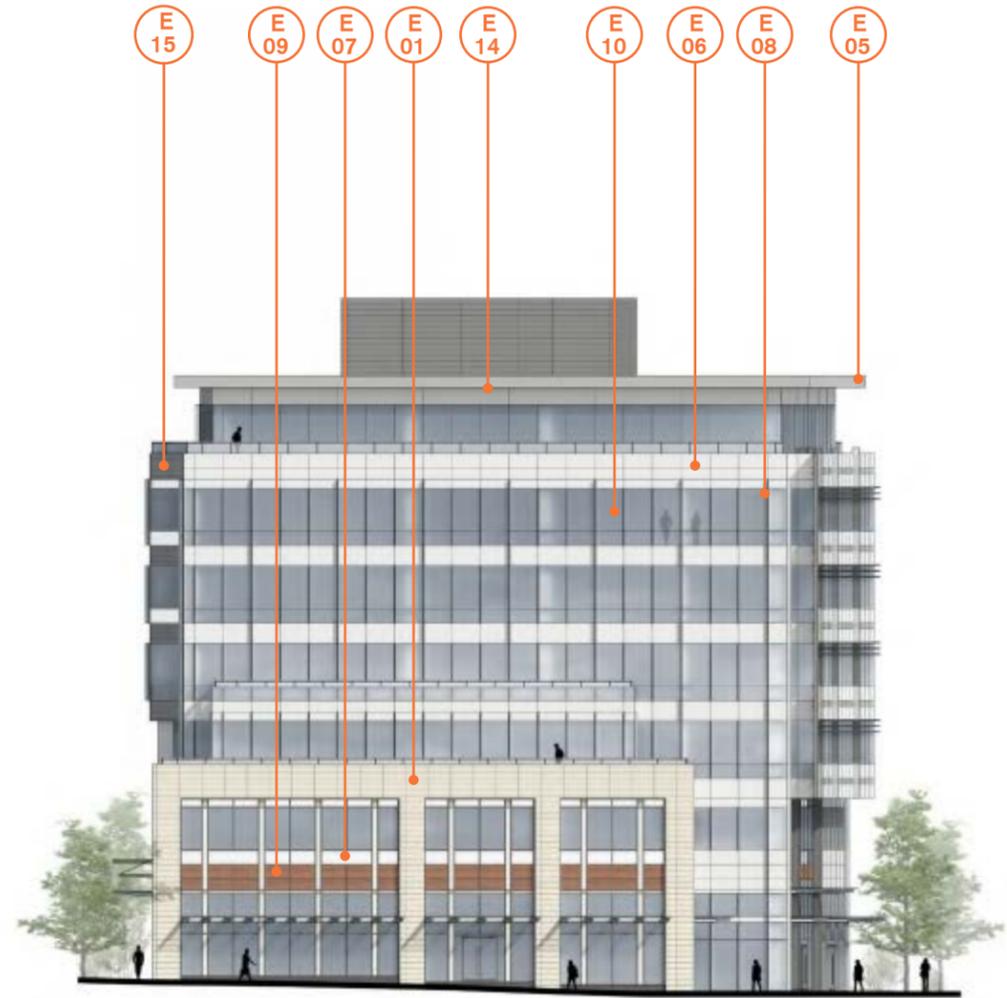
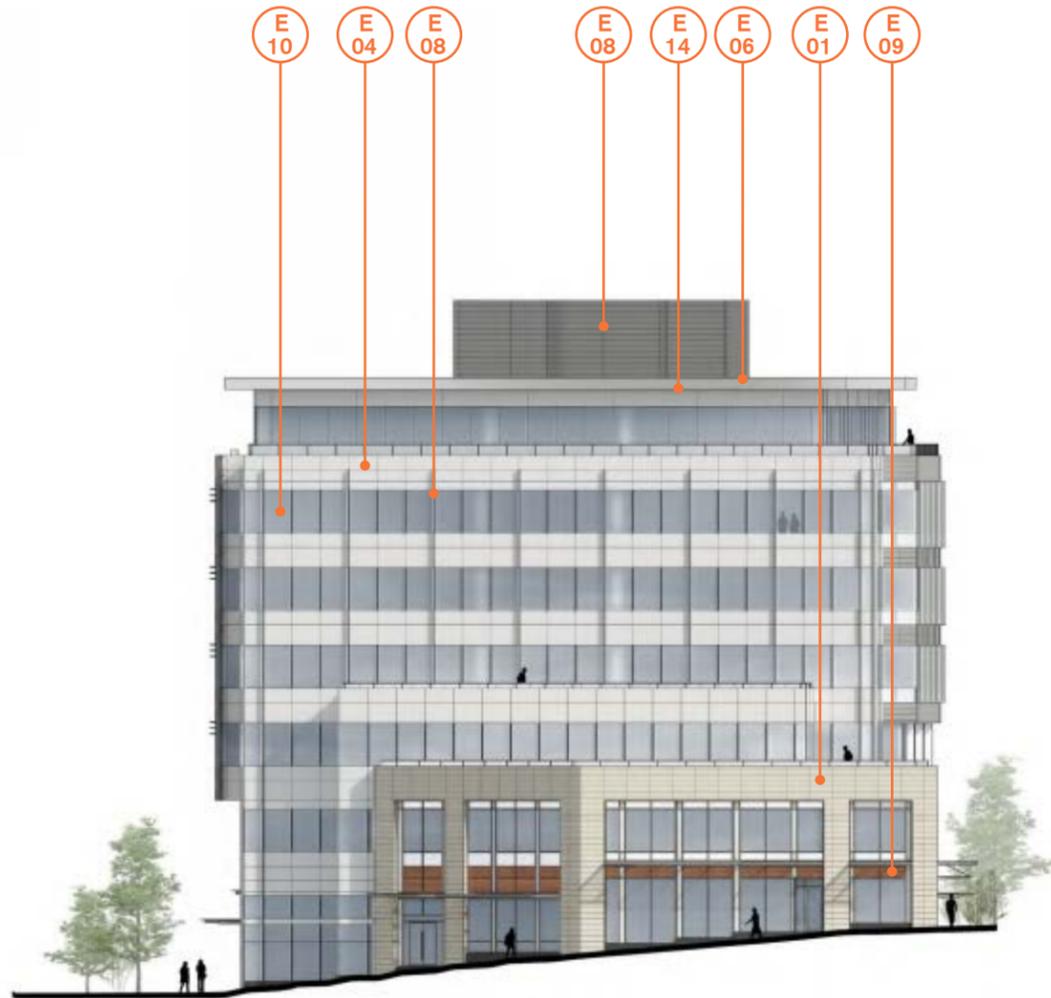
- | | | | |
|---|--|--|------------------------------------|
| E 01 STONE (BEIGE / OFF-WHITE) | E 05 METAL PANEL (SILVER GREY) | E 09 WOOD-TONED RAINSCREEN | E 13 PATINATED METAL |
| E 02 BRICK (NORMAN IRON SPOT / SIMILAR) | E 06 METAL PANEL (PEWTER) | E 10 VISION GLASS (NEUTRAL TONE) | E 14 WOOD TONE METAL SOFFIT |
| E 03 METAL PANEL COLUMN COVER (WARM DARK GREY) | E 07 METAL DETAILS (MATTE GREY) | E 11 OPAQUE SPANDREL GLASS (GREY) | E 15 METAL PANEL |
| E 04 PEARL METALLIC METAL PANEL | E 08 METAL DETAILS (DARK GREY METALLIC) | E 12 FRITTED SPANDREL GLASS | |

DESIGN CONCEPT | BUILDING E

Elevations

EAST ELEVATION

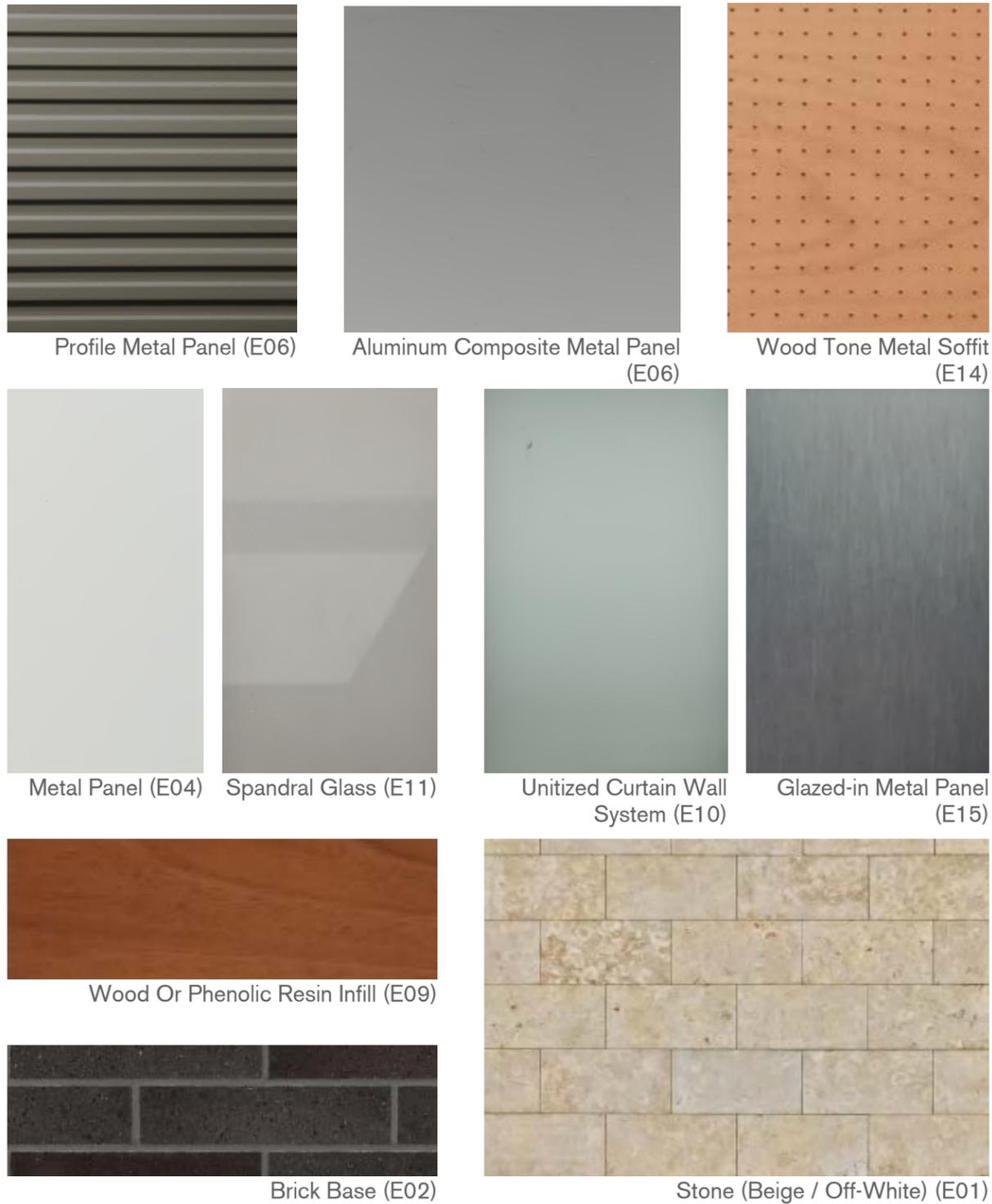
WEST ELEVATION



LEGEND

- | | | | |
|---|--|--|------------------------------------|
| E 01 STONE (BEIGE / OFF-WHITE) | E 05 METAL PANEL (SILVER GREY) | E 09 WOOD-TONED RAINSCREEN | E 13 PATINATED METAL |
| E 02 BRICK (NORMAN IRON SPOT / SIMILAR) | E 06 METAL PANEL (PEWTER) | E 10 VISION GLASS (NEUTRAL TONE) | E 14 WOOD TONE METAL SOFFIT |
| E 03 METAL PANEL COLUMN COVER (WARM DARK GREY) | E 07 METAL DETAILS (MATTE GREY) | E 11 OPAQUE SPANDREL GLASS (GREY) | E 15 METAL PANEL |
| E 04 PEARL METALLIC METAL PANEL | E 08 METAL DETAILS (DARK GREY METALLIC) | E 12 FRITTED SPANDREL GLASS | |

DETAIL ELEVATION NORTH FACADE

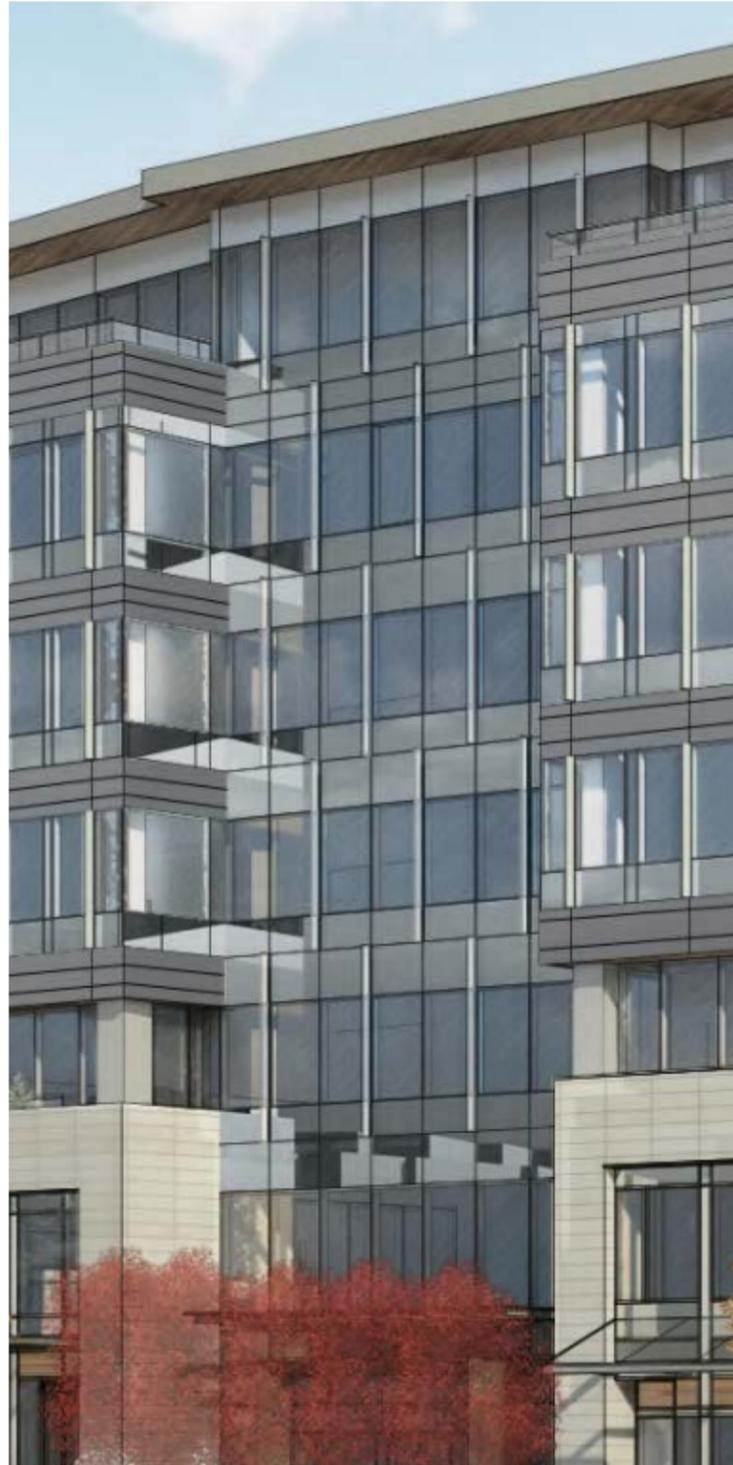


Scale: 1/16" = 1'-0"

DESIGN CONCEPT | BUILDING E

Enlarged Elevations

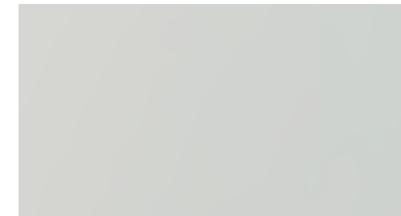
DETAIL PERSPECTIVES OF NORTH FACADE



Glazed-in Metal Panel (E05)



Glazed-In Metal Panel (E15)



Metal Panel (E04)



Patinated Metal (E13)



Metal Fins (E07)



Stone (E01)



Wood Infill (E09)



Vision Glass (E10)



Brick (E02)



Column Wrap (E03)

DETAIL ELEVATION NORTH FACADE



Stone (E01)



Opaque Spandrel Glass (E11)



Glazed-in Metal Panel (E05)



Mullion Color (E08)



Mullion Color (E06)



Brick Base (E02)

- 8" Mullion Cap (E06)
- Vision Glass (E10)
- 4" Mullion Cap (E08)
- Opaque Spandrel Glass (E11)
- Butt Joint, Typ.
- Glazed-in Metal Panel (E04)
- Spandrel Glass (E11)
- Wood Infill or Rainscreen (E09)
- Spandrel Glass (E11)
- Metal Panel Infill (E05)
- Metal and Glass Canopies
- Storefront Window System (E10)
- Stone Cladding (E01)
- Wood Seat and Trellis
- Brick (E02)

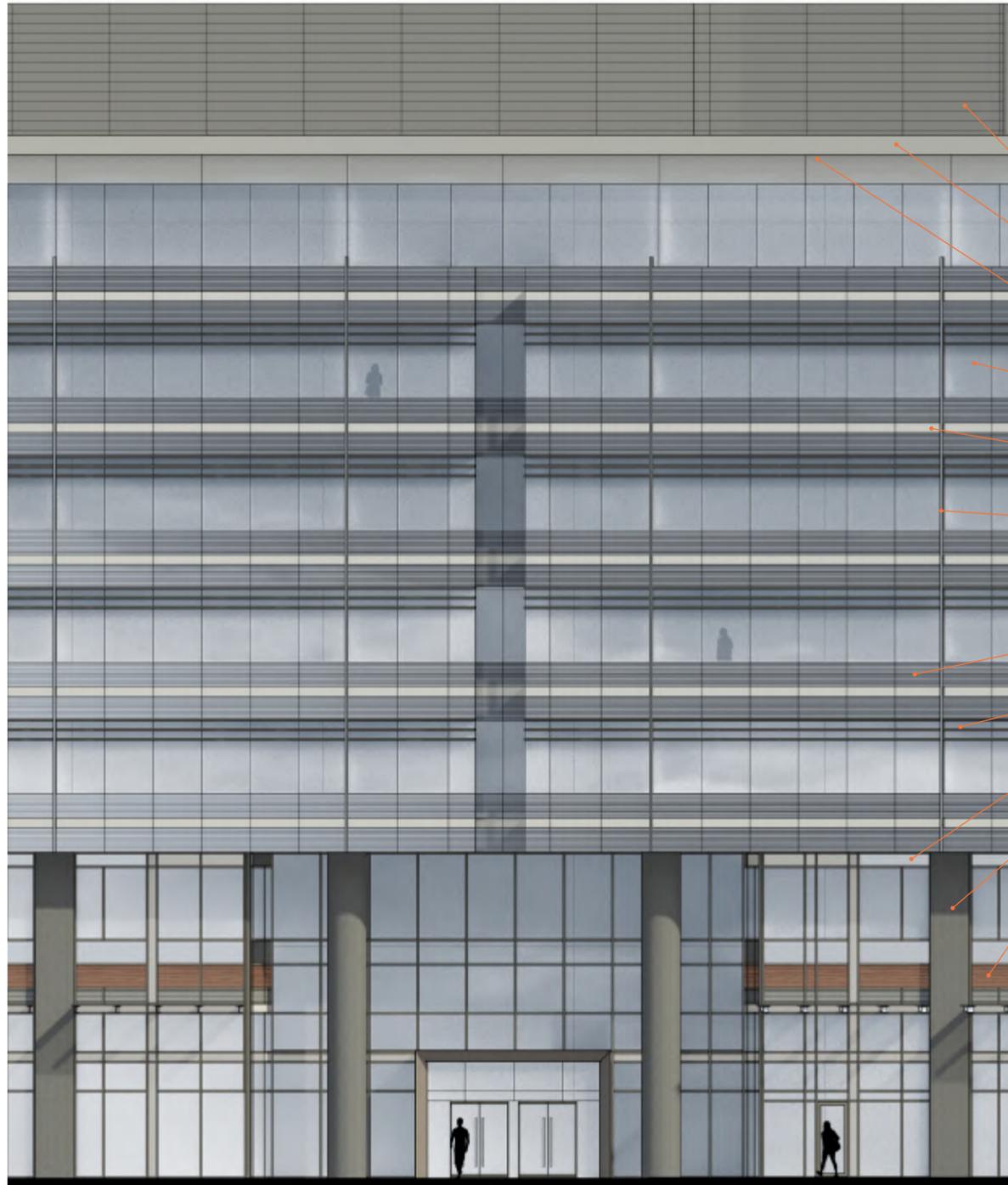


Scale: 1/8" = 1'-0"

DESIGN CONCEPT | BUILDING E

Enlarged Elevations

DETAIL ELEVATION SOUTH FACADE

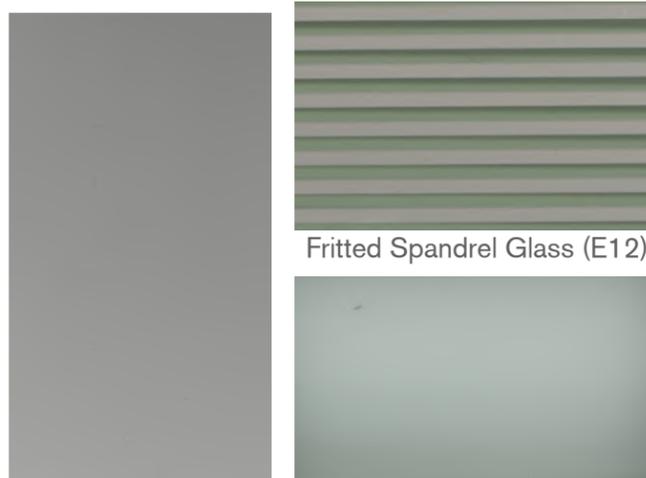


- E 06 Profile Metal Panel
- E 06 Metal Panel Eyebrow
- E 09 Metal Panel Soffit
- E 10 Vision Glass
- E 08 Metal Panel
- E 07 Vertical Fins
- E 12 Fritted Spandrel Glass
- E 08 Sunshades
- E 11 Spandrel Glass
- E 08 Metal Panel Column Cover
- E 09 Wood Infill



Scale: 1/16" = 1'-0"

DETAIL ELEVATION SOUTH FACADE



Vertical Sunshades (E07)

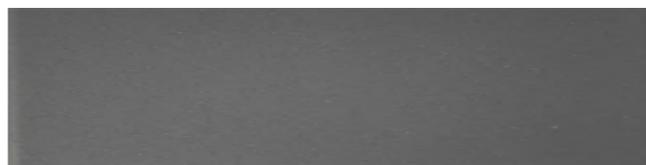
Fritted Spandrel Glass (E12)



Vision Glass (E10)



Glazed-in Metal Panel (E05)



Horizontal Sunshades (E08)



Wood Rainscreen (E09)

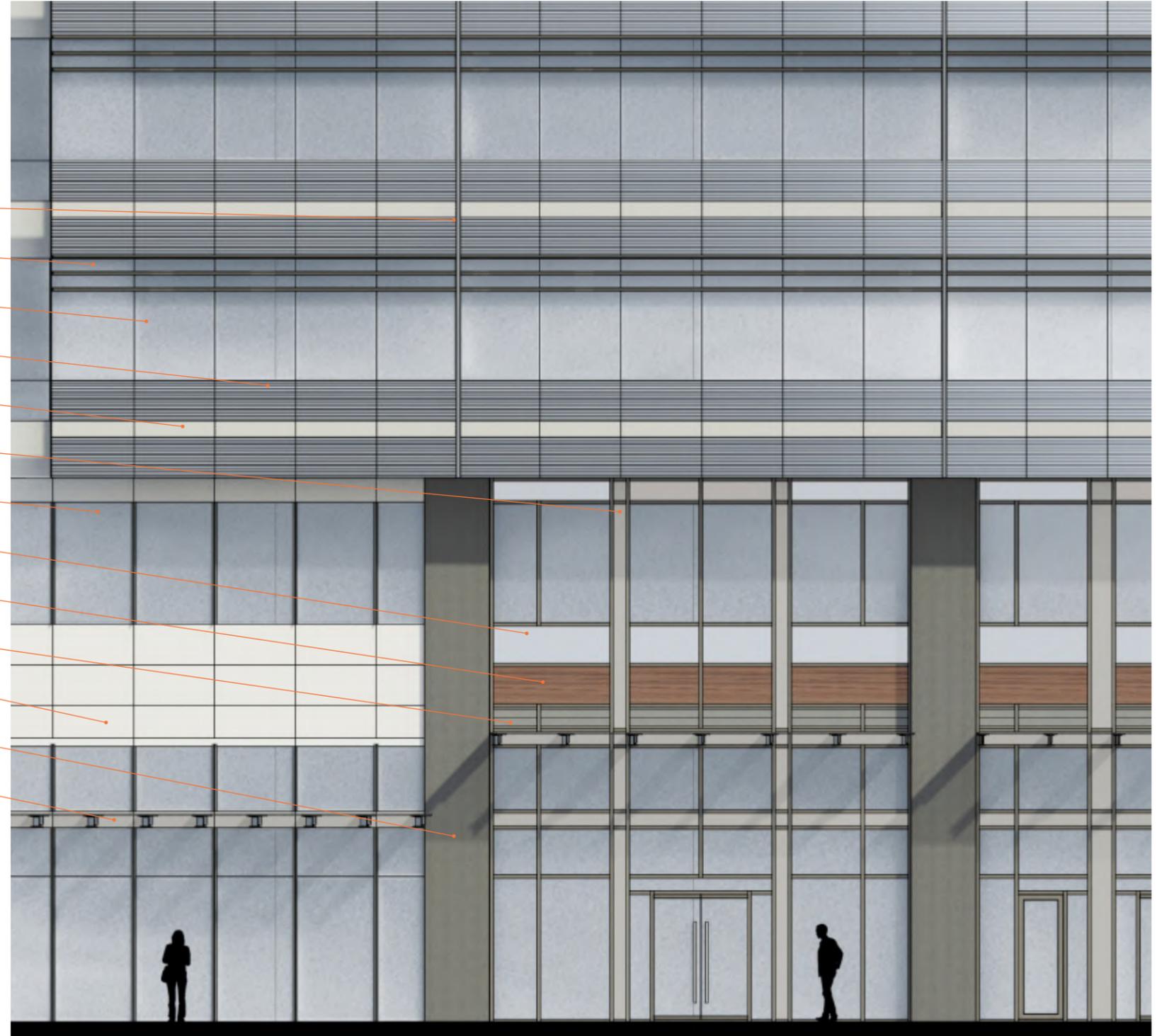


Opaque Spandrel (E11)



Metal Column Cover (E06)

- Vertical Fin (E07)
- Sunshades (E08)
- Vision Glass (E10)
- Fritted Spandrel Glass (E12)
- Glazed-in Metal Panel (E05)
- Metal Panel Infill (E05)
- Vision Glass (E10)
- Opaque Spandrel Glass (E11)
- Wood Panels (E09)
- Louver Band (E06)
- Glazed-in Metal Panel (E04)
- Column Cover (Metal Panel) (E06)
- Glass and Steel Canopy (E06)



Scale: 1/8" = 1'-0"

DESIGN CONCEPT | BUILDING E

Perspectives

SOUTHEAST PERSPECTIVE



DESIGN CONCEPT | BUILDING F

Overview

LOCATOR MAP



SUMMARY - BUILDING F MATERIALS

The base of Building F utilizes a variety of building materials, including natural stone, precast, brick and patinated metal panel as well as accents of wood rainscreen to create a rich textural experience. Neutral low-e glass will ensure visibility into retail spaces, and as in Building E, the tenants will be able to tailor their storefront to their requirements, which likely will include operable walls or windows, and custom canopies and signage.

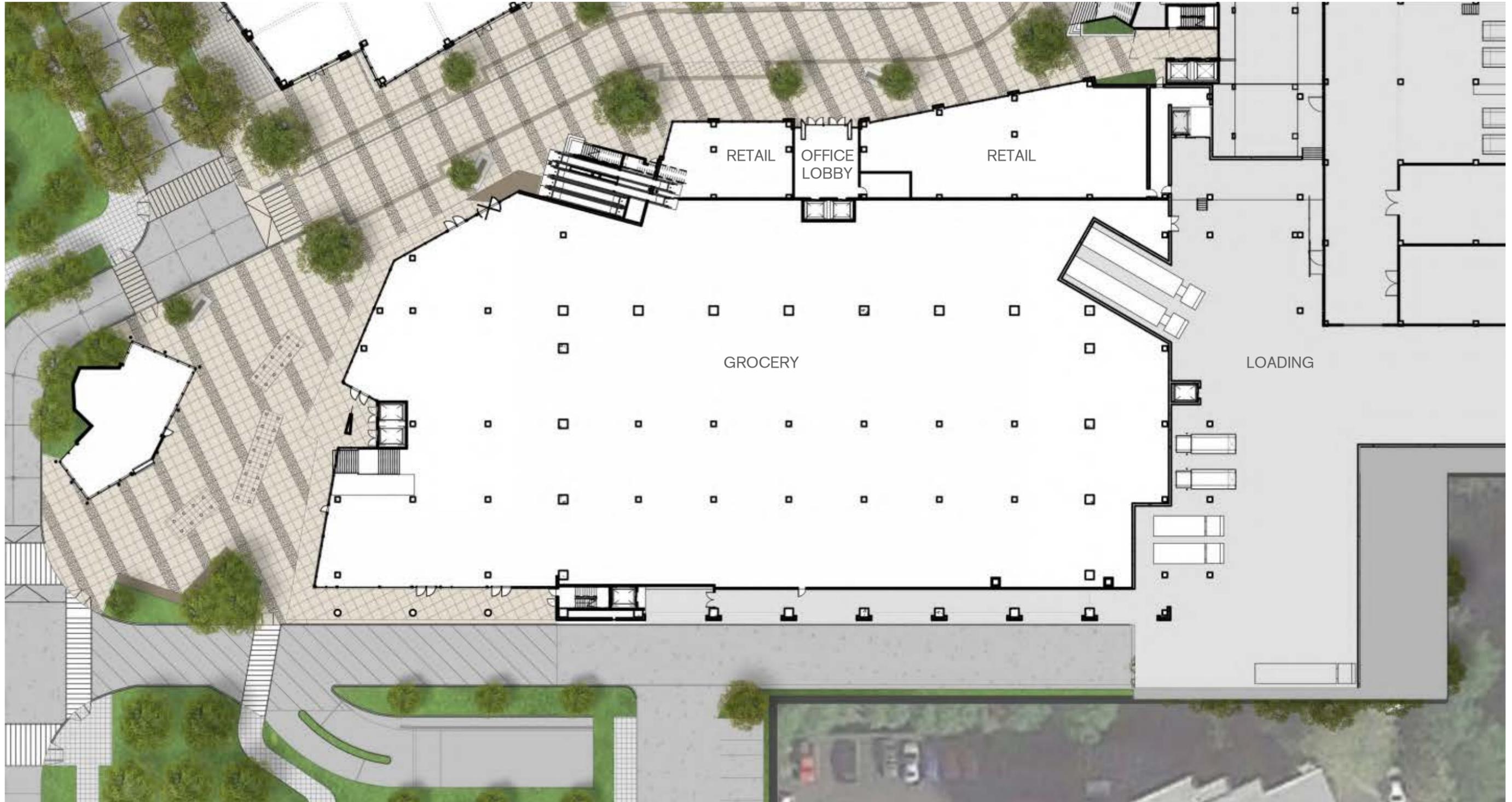
The tower is comprised of curtainwall incorporating several metal panel colors in off white to light gray along with opaque and fritted spandrel glass, and contrasting fins and mullion extensions. As with Building E, the roofline is defined by an overhang with a wood look soffit, and is capped with a darker color metal panel roof screen.



PERSPECTIVE FROM SOUTH PARKING LOT TOWARD BUILDING F (PHASE 1 SHOWN)



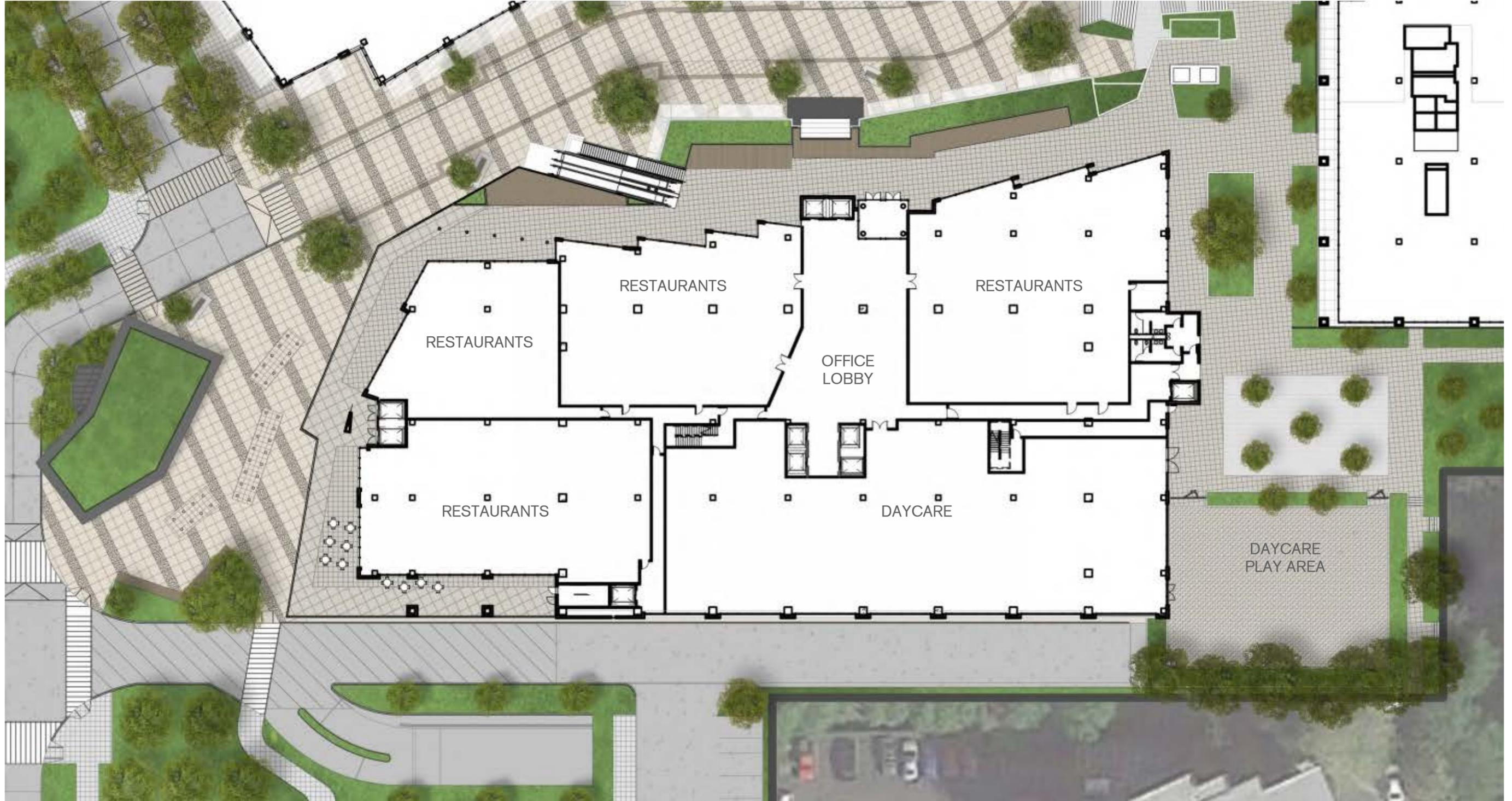
BUILDING F FLOOR PLAN (LEVEL 1)



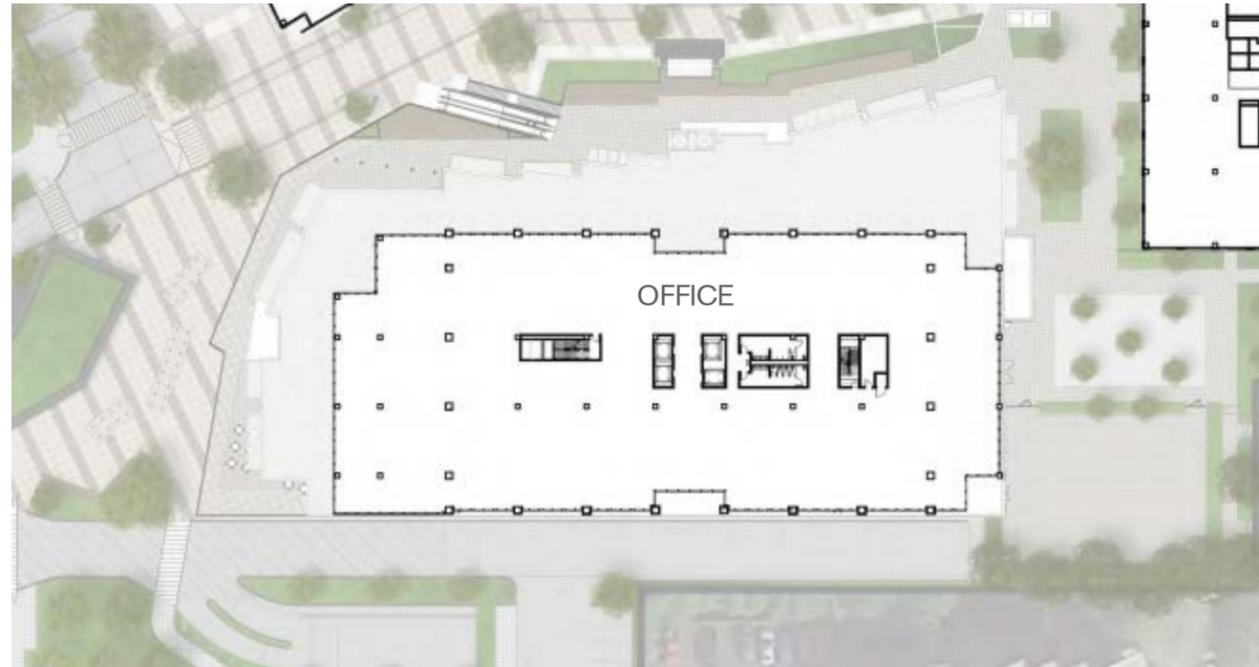
DESIGN CONCEPT | BUILDING F

Floor Plans

BUILDING F FLOOR PLAN (LEVEL 2)



BUILDING F FLOOR PLANS



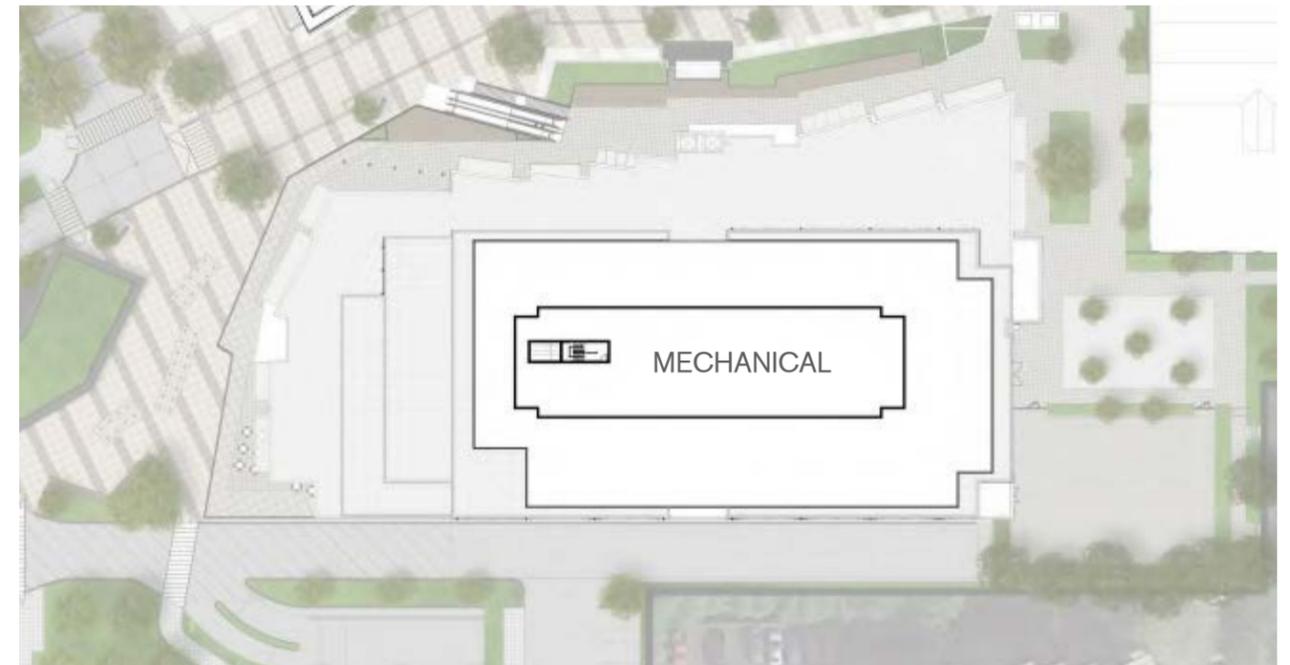
BUILDING F - LEVEL 3



BUILDING F - LEVEL 4-6



BUILDING F - LEVEL 7



BUILDING F - LEVEL ROOF

DESIGN CONCEPT | BUILDING F

Materials and Finishes Palette

BUILDING F PODIUM



F 09 TEXTURED RAINSCREEN



F 05 CMU



F 02 PRECAST CONCRETE



F 03 STONE



F 01 PRECAST CONCRETE



F 10 METAL DETAILS



F 06 CEMENT RAINSCREEN



F 11 METAL DETAILS



F 04 BRICK



F 08 PATINATED METAL - TAPERED PROFILE



F 09 WOOD RAINSCREEN

DESIGN CONCEPT | BUILDING F

Materials and Finishes Palette

BUILDING F TOWER



F 17 FRITTED SPANDREL GLASS



F 16 VISION GLASS



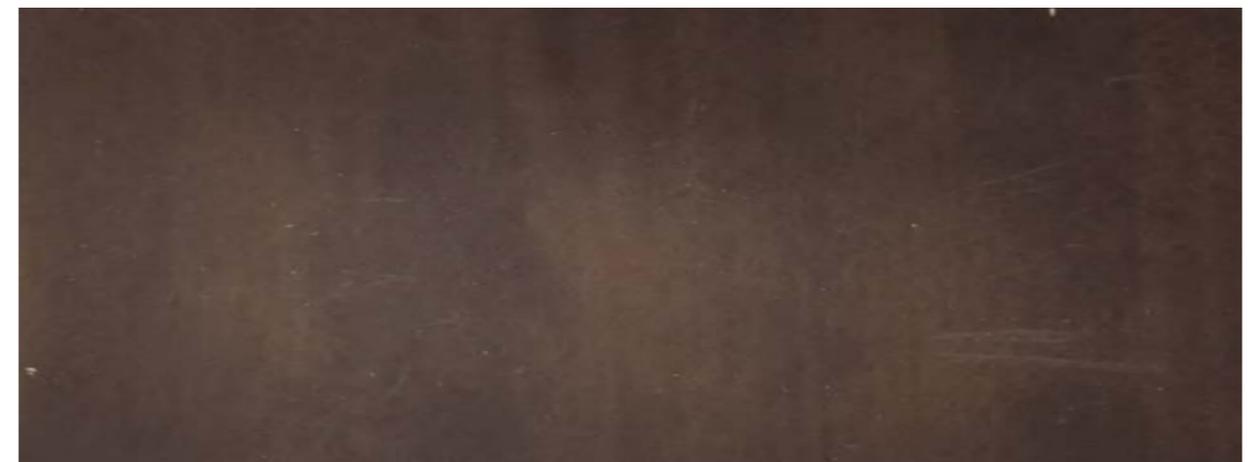
F 18 OPAQUE SPANDREL GLASS



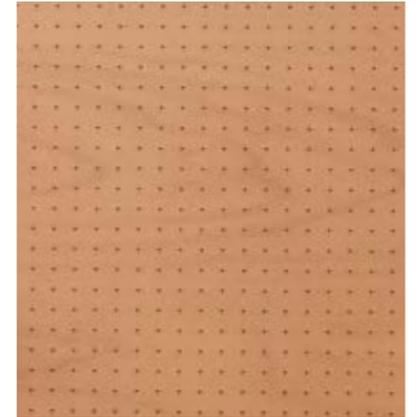
F 13 METAL PANEL



F 14 METAL DETAILS



F 07 PATINATED METAL



F 15 METAL SOFFIT

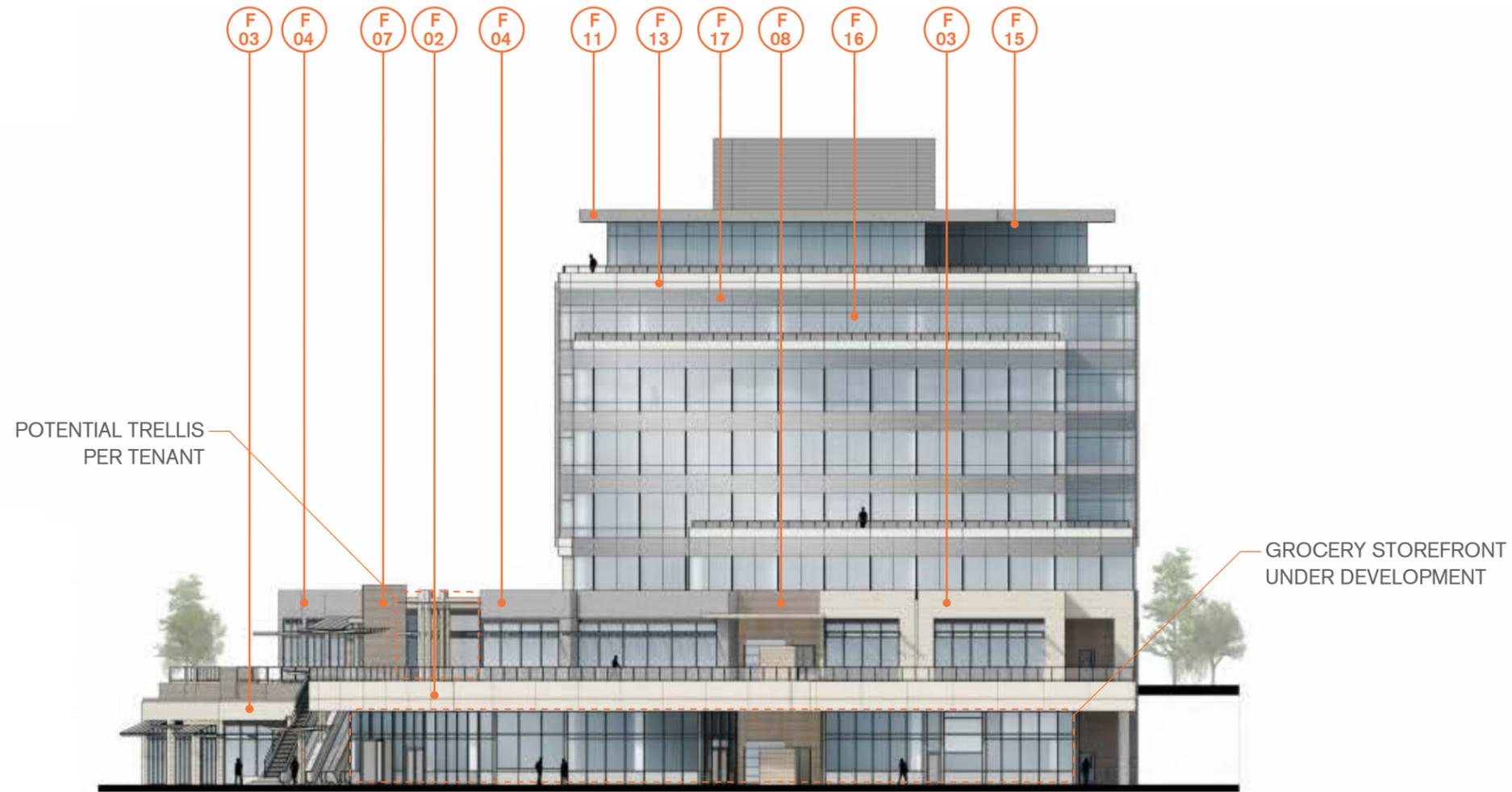


F 12 METAL PANEL

DESIGN CONCEPT | BUILDING F

Elevations

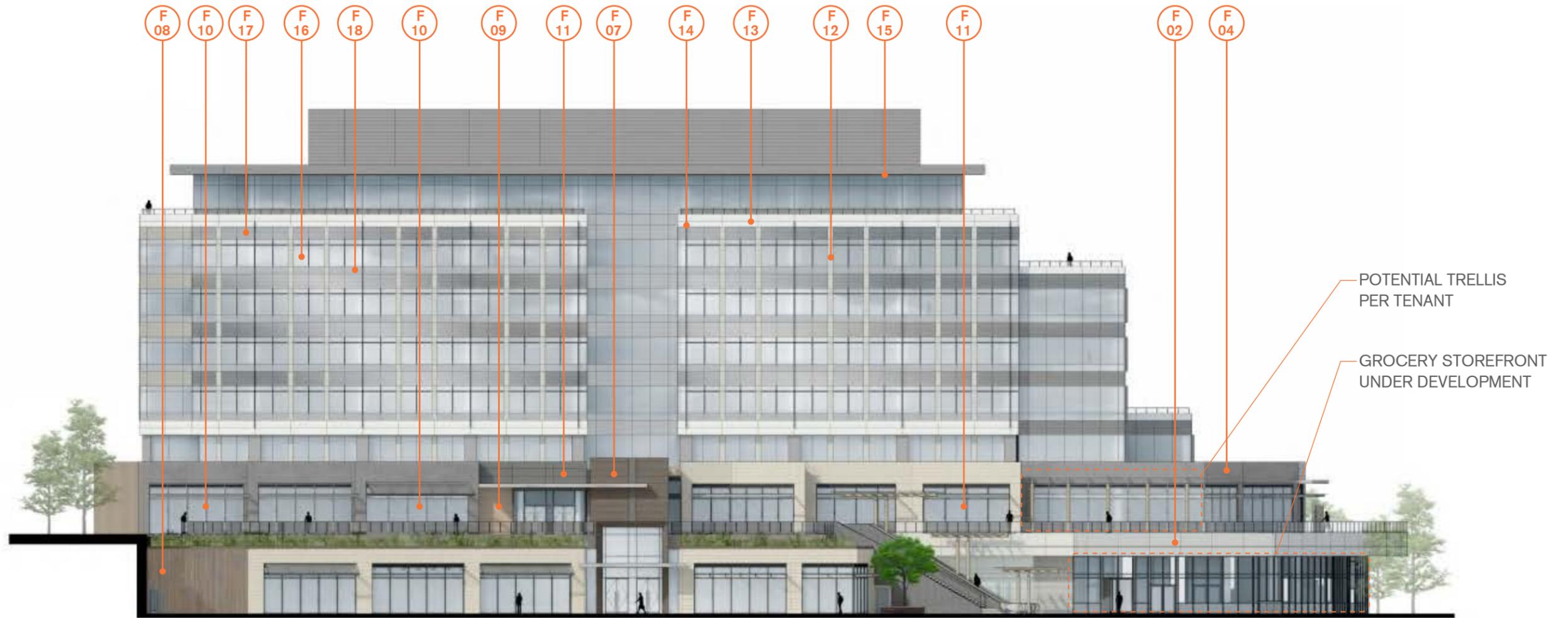
WEST ELEVATION



LEGEND

- | | | | |
|--|---|---|--|
| F 01 PRECAST CONCRETE (GREY) | F 06 TEXTURED FIBER CEMENT RAINSCREEN | F 11 METAL DETAILS (MEDIUM GREY) | F 16 VISION GLASS (NEUTRAL TONE) |
| F 02 PRECAST CONCRETE (OFF-WHITE) | F 07 PATINATED METAL (DEEP BROWN) | F 12 METAL PANEL (WARM LIGHT GREY) | F 17 FRITTED SPANDREL GLASS |
| F 03 STONE (BEIGE / OFF-WHITE) | F 08 PATINATED METAL (RUSTICATED FINISH) | F 13 METAL PANEL (OFF-WHITE) | F 18 OPAQUE SPANDREL GLASS (GREY) |
| F 04 BRICK (IRON SPOT) | F 09 WOOD RAINSCREEN | F 14 METAL DETAILS (GUNMETAL GREY) | F 19 FIBER CEMENT RAINSCREEN |
| F 05 TEXTURED GREY CMU | F 10 METAL DETAILS (CHAMPAGNE TONE) | F 15 WOOD TONE METAL SOFFIT | |

NORTH ELEVATION



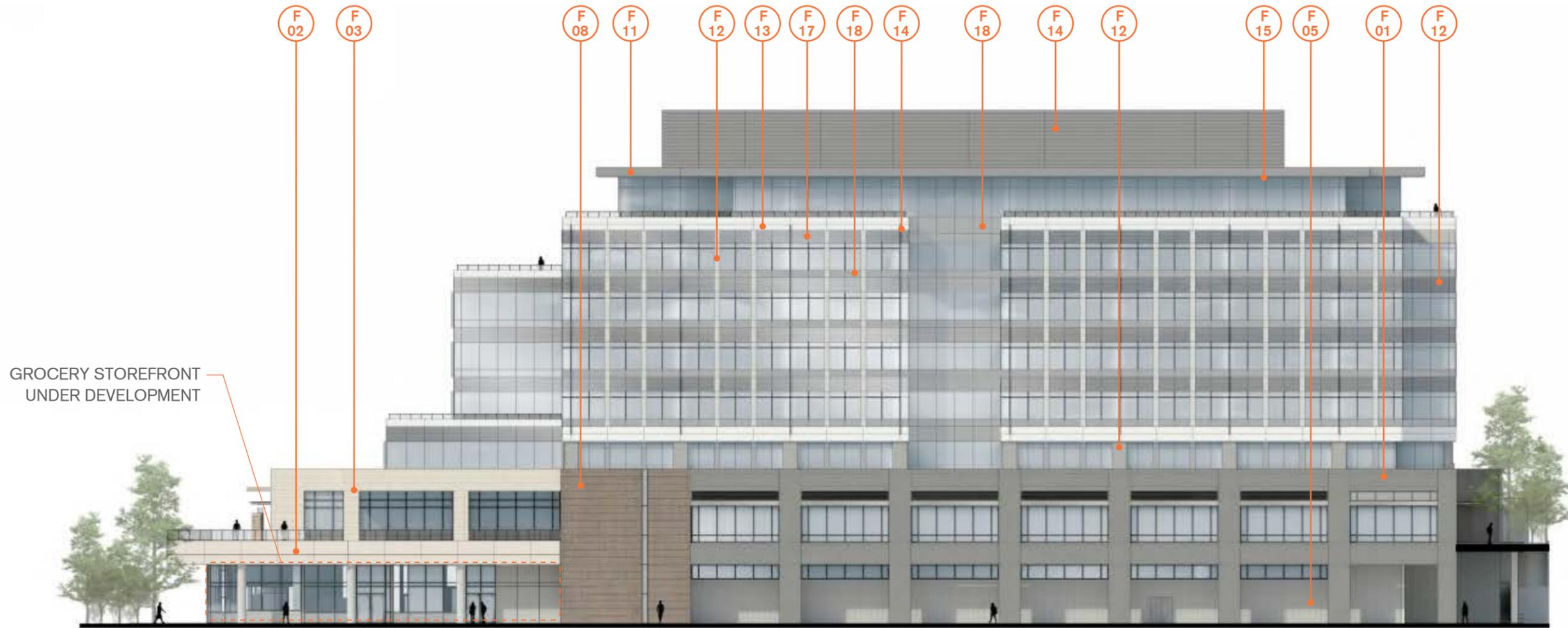
LEGEND

- | | | | |
|---|--|--|---|
| F ₀₁ PRECAST CONCRETE (GREY) | F ₀₆ TEXTURED FIBER CEMENT RAINSCREEN | F ₁₁ METAL DETAILS (MEDIUM GREY) | F ₁₆ VISION GLASS (NEUTRAL TONE) |
| F ₀₂ PRECAST CONCRETE (OFF-WHITE) | F ₀₇ PATINATED METAL (DEEP BROWN) | F ₁₂ METAL PANEL (WARM LIGHT GREY) | F ₁₇ FRITTED SPANDREL GLASS |
| F ₀₃ STONE (BEIGE / OFF-WHITE) | F ₀₈ PATINATED METAL (RUSTICATED FINISH) | F ₁₃ METAL PANEL (OFF-WHITE) | F ₁₈ OPAQUE SPANDREL GLASS (GREY) |
| F ₀₄ BRICK (IRON SPOT) | F ₀₉ WOOD RAINSCREEN | F ₁₄ METAL DETAILS (GUNMETAL GREY) | F ₁₉ FIBER CEMENT RAINSCREEN |
| F ₀₅ TEXTURED GREY CMU | F ₁₀ METAL DETAILS (CHAMPAGNE TONE) | F ₁₅ WOOD TONE METAL SOFFIT | |

DESIGN CONCEPT | BUILDING F

Elevations

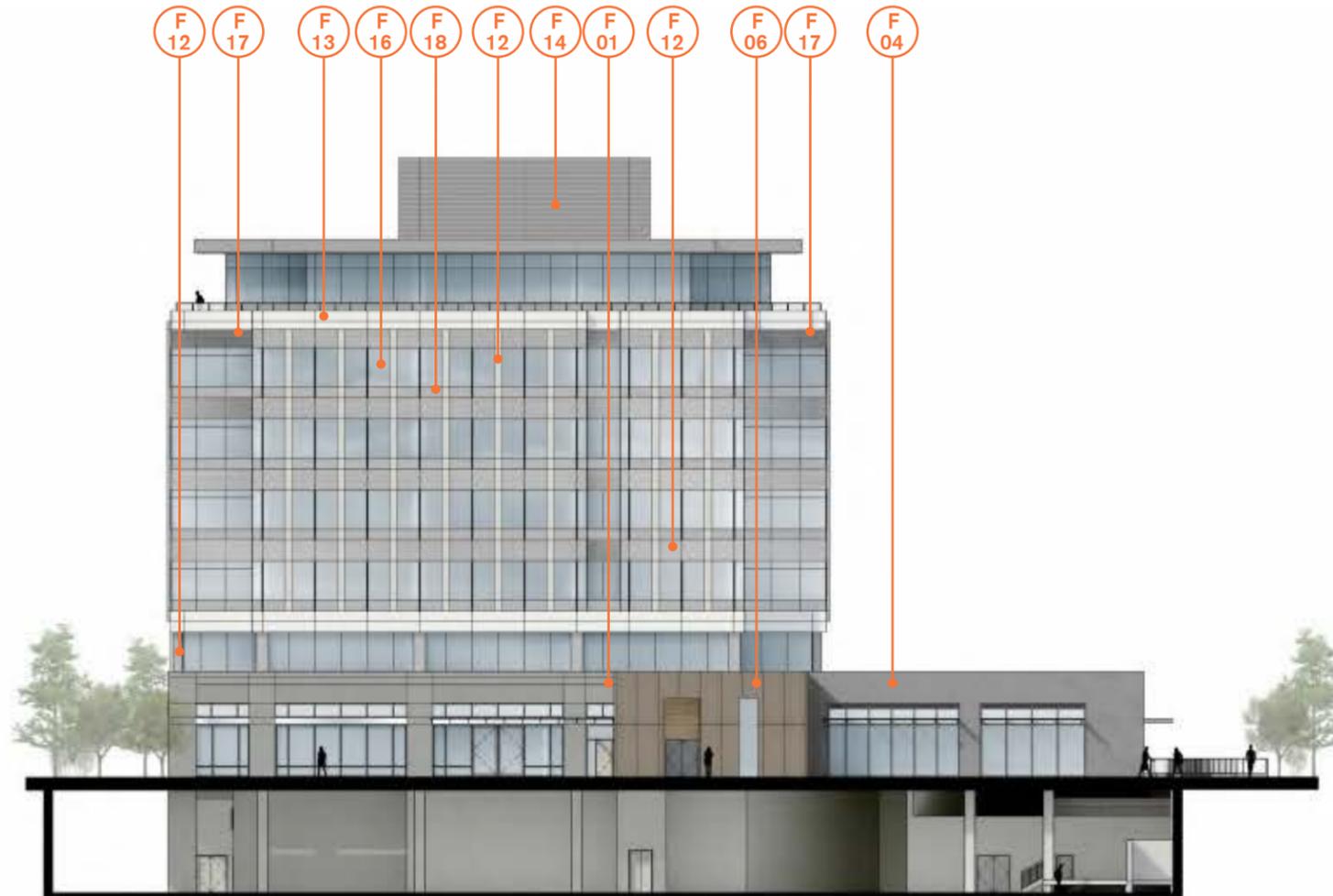
SOUTH ELEVATION



LEGEND

- | | | | |
|--|---|---|--|
| F 01 PRECAST CONCRETE (GREY) | F 06 TEXTURED FIBER CEMENT RAINSCREEN | F 11 METAL DETAILS (MEDIUM GREY) | F 16 VISION GLASS (NEUTRAL TONE) |
| F 02 PRECAST CONCRETE (OFF-WHITE) | F 07 PATINATED METAL (DEEP BROWN) | F 12 METAL PANEL (WARM LIGHT GREY) | F 17 FRITTED SPANDREL GLASS |
| F 03 STONE (BEIGE / OFF-WHITE) | F 08 PATINATED METAL (RUSTICATED FINISH) | F 13 METAL PANEL (OFF-WHITE) | F 18 OPAQUE SPANDREL GLASS (GREY) |
| F 04 BRICK (IRON SPOT) | F 09 WOOD RAINSCREEN | F 14 METAL DETAILS (GUNMETAL GREY) | F 19 FIBER CEMENT RAINSCREEN |
| F 05 TEXTURED GREY CMU | F 10 METAL DETAILS (CHAMPAGNE TONE) | F 15 WOOD TONE METAL SOFFIT | |

EAST ELEVATION



LEGEND

- | | | | |
|---|--|--|---|
| F ₀₁ PRECAST CONCRETE (GREY) | F ₀₆ TEXTURED FIBER CEMENT RAINSCREEN | F ₁₁ METAL DETAILS (MEDIUM GREY) | F ₁₆ VISION GLASS (NEUTRAL TONE) |
| F ₀₂ PRECAST CONCRETE (OFF-WHITE) | F ₀₇ PATINATED METAL (DEEP BROWN) | F ₁₂ METAL PANEL (WARM LIGHT GREY) | F ₁₇ FRITTED SPANDREL GLASS |
| F ₀₃ STONE (BEIGE / OFF-WHITE) | F ₀₈ PATINATED METAL (RUSTICATED FINISH) | F ₁₃ METAL PANEL (OFF-WHITE) | F ₁₈ OPAQUE SPANDREL GLASS (GREY) |
| F ₀₄ BRICK (IRON SPOT) | F ₀₉ WOOD RAINSCREEN | F ₁₄ METAL DETAILS (GUNMETAL GREY) | F ₁₉ FIBER CEMENT RAINSCREEN |
| F ₀₅ TEXTURED GREY CMU | F ₁₀ METAL DETAILS (CHAMPAGNE TONE) | F ₁₅ WOOD TONE METAL SOFFIT | |

DESIGN CONCEPT | BUILDING F

Enlarged Elevations

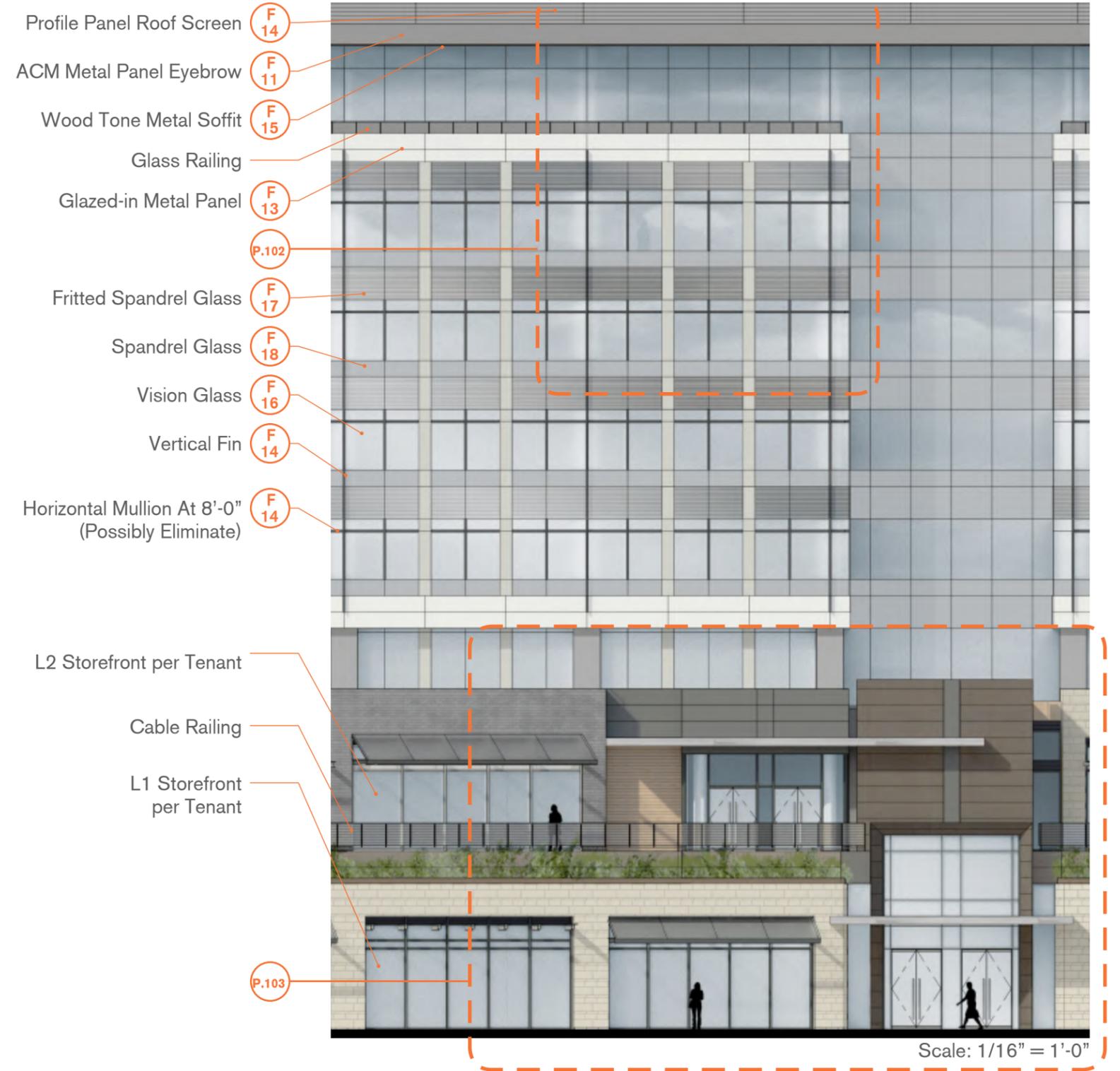
DETAIL ELEVATION WEST FACADE



Scale: 1/16" = 1'-0"



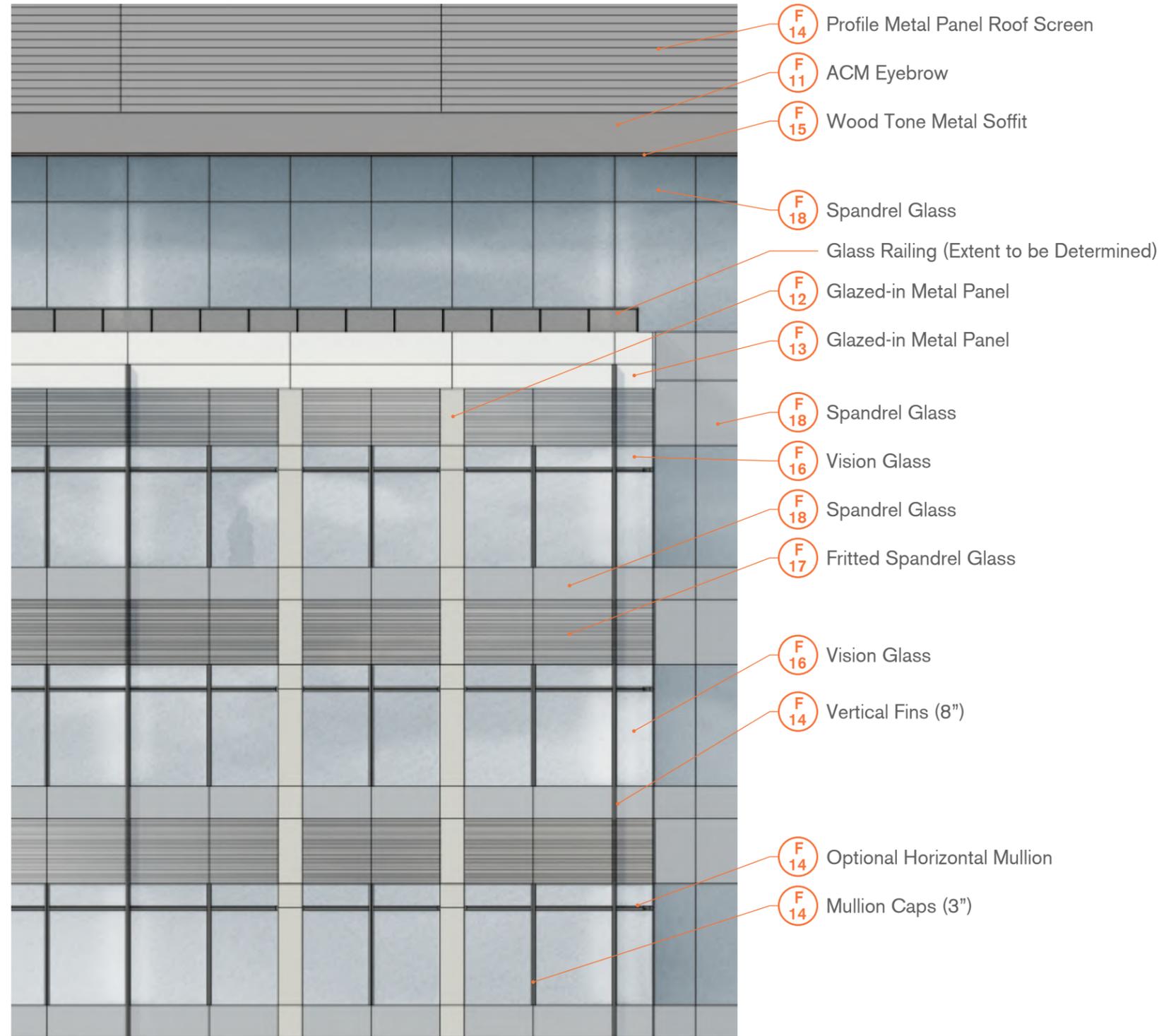
DETAIL ELEVATION NORTH FACADE



DESIGN CONCEPT | BUILDING F

Enlarged Elevations

DETAIL ELEVATION NORTH FACADE



Profile Metal Panel (F14)



ACM Panel (F11)



Wood Tone Metal Soffit (F15)



Glazed-in Metal Panel (F12)



Fritted Spandrel Glass (F17)



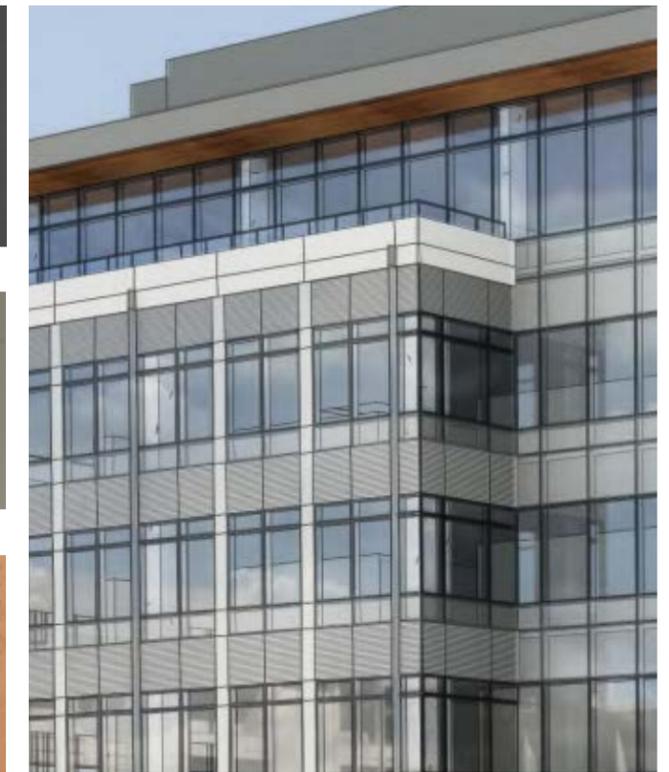
Spandrel Glass (F18)



Glazed-in Metal Panel (F13)

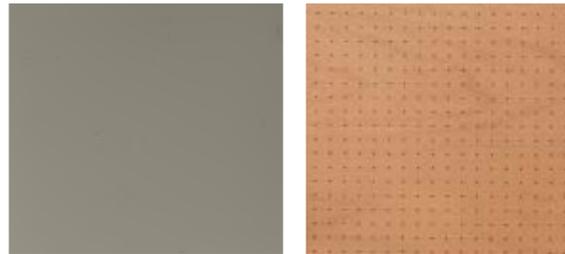


Vision Glass (F16)



Scale: 1/8" = 1'-0"

DETAIL ELEVATION NORTH FACADE



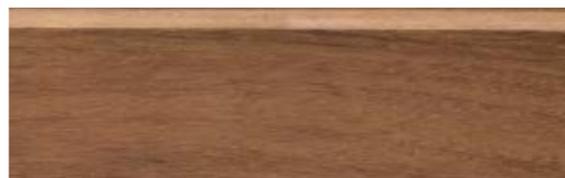
ACM Panel (F11) Wood Tone Metal Soffit (F15)



Cement Rainscreen (F06) Corten (F1-01)



Brick (F04) Wood Rainscreen (F09)



Stone (F03)



Stone (F03) Patinated Metal (F07)

- Patinated Metal Panel (F07)
- ACM Column Covers (F12)
- ACM Panel (F10)
- Metal Panel Fascia (F15)
- Solid Canopy (F14)
- Wood Soffit (F09)
- Brick (F04)
- Canopy / Storefront per Tenant
- L2 Office Entry
- Wood Rainscreen (F09)
- Fiber Cement Composite Rainscreen (F19)
- Cable Railing
- Corten/Patinated Metal Panel (F101)
- Stone (F03)
- Canopy / Storefront per Tenant
- Solid Canopy with Metal Panel Fascia (F15)
- Solid Canopy with Wood Soffit (F14)
- Patinated Metal Panel (F07)



Scale: 1/8" = 1'-0"

DESIGN CONCEPT | BUILDING F

Perspectives

VIEW TOWARD ESCALATOR AT NORTH FACADE OF BUILDING F



DETAIL ELEVATION NORTH FACADE



Brick (F04)



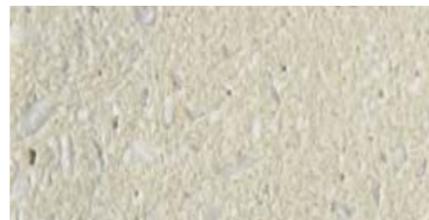
Wood Rainscreen (F09)



Metal Panel (F12)



Vision Glass (F16)



Precast (F02)



Stone (F03)

- Stone (F03)
- Steel Canopy Structure with Wood Accents
- Glass Railing
- Precast / Cast-in-place (F01)
- Precast (F02)
- Stone (F03)
- Colored Plaster Soffit
- Precast (Potential Artwall Installation) (F02)
- Metal Panel (F12)

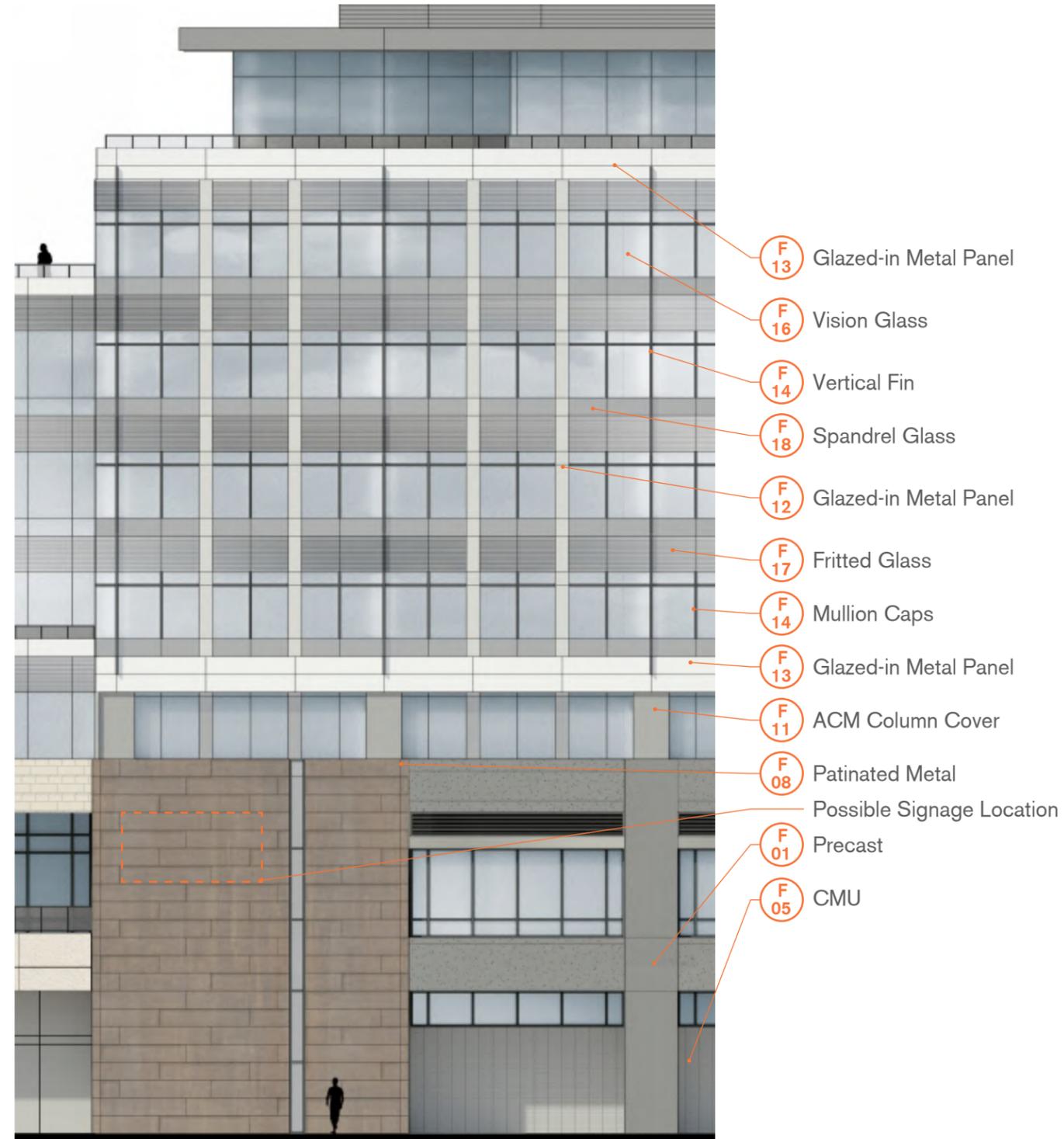


Scale: 1/8" = 1'-0"

DESIGN CONCEPT | BUILDING F

Enlarged Elevations

DETAIL ELEVATION SOUTH FACADE



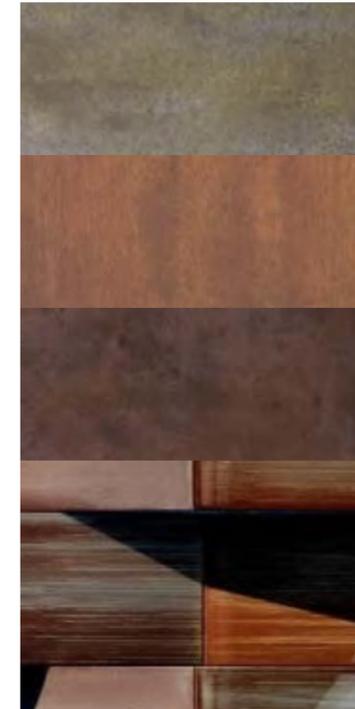
- F 13 Glazed-in Metal Panel
- F 16 Vision Glass
- F 14 Vertical Fin
- F 18 Spandrel Glass
- F 12 Glazed-in Metal Panel
- F 17 Fritted Glass
- F 14 Mullion Caps
- F 13 Glazed-in Metal Panel
- F 11 ACM Column Cover
- F 08 Patinated Metal
- Possible Signage Location
- F 01 Precast
- F 05 CMU



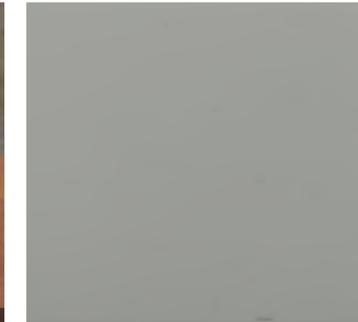
Fritted Spandrel Glass (F17)



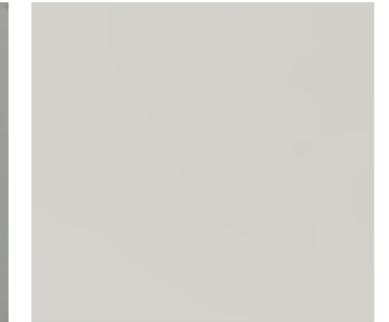
Opaque Spandrel Glass (F18)



Feature Wall - Metal Panel (F08)



Glazed-in Metal Panel (F12)



Glazed-in Metal Panel (F13)



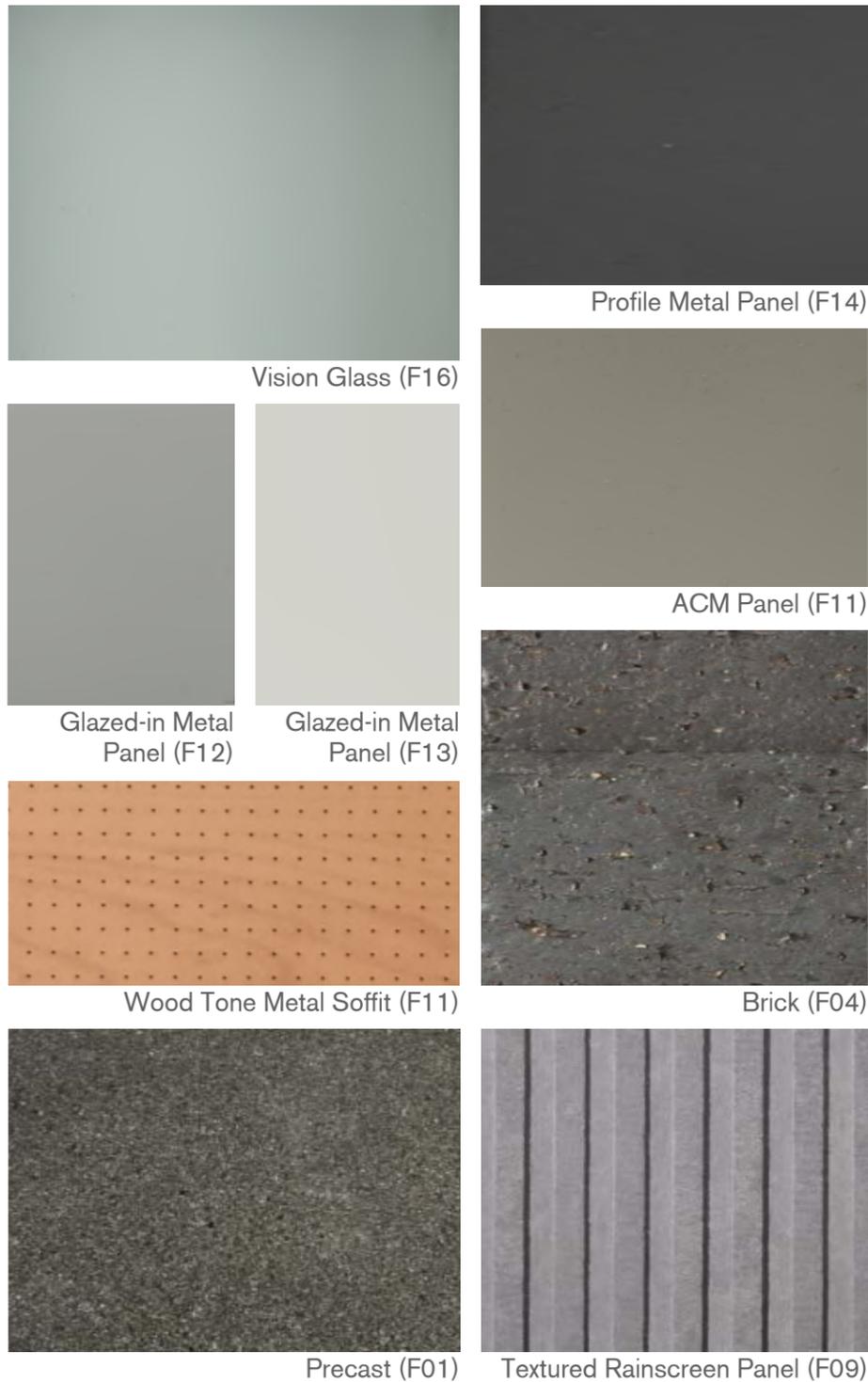
CMU (F05)



Precast (F01)

Scale: 1/16" = 1'-0"

DETAIL ELEVATION EAST FACADE



Scale: 1/16" = 1'-0"

DESIGN CONCEPT | BUILDING F

Perspectives

NORTHWEST PERSPECTIVE



DESIGN CONCEPT | MINOR MODIFICATION

Daycare Plaza At Setback

SUMMARY

A minor modification to the 25 foot setback is requested for the Plaza area over the loading dock at building F. The structured plaza will exceed the limits for height of structures within setbacks, in part because the grade at the adjoining property to the south (Continental Plaza) in this area is steeply sloped towards the property line from the face of the building.

The plaza will be used for outdoor play space for the Daycare adjacent to it in Building F. The daycare will require a minimum of 5,500 sf of area to support the enrollment, and the location is in a protected area of the site.

This portion of the site must accommodate pedestrian access from the adjoining office and residential properties through the site. Currently a pathway consisting of stairs connects from the Continental plaza building to a gravel path alongside the existing structured parking at Kirkland Park place, bypasses a dumpster area and connects the retail area at near the existing QFC.

The access from the Watermark apartments is along a paved parking access road and onto a set of concrete steps ending on top of the structured parking. A new pathway will be constructed on the east side of the Daycare play area that will connect to both pathways and potentially provide one additional connection. This pathway will then connect to the sidewalk/ plaza area between the existing office and building F, and eventually along the future access road to 6th street.

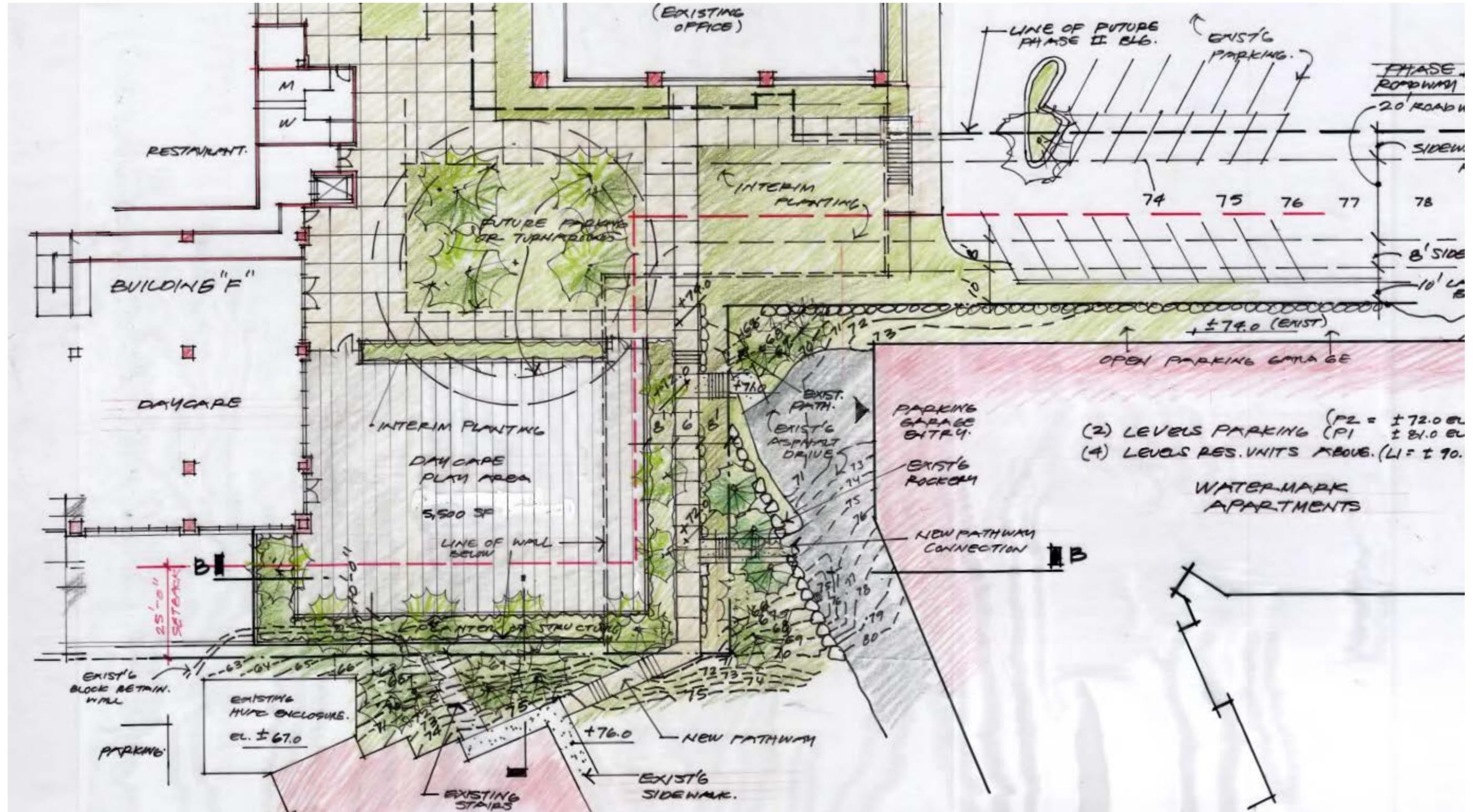
The plaza level will be several feet lower than the existing first floor of the Continental Plaza building and around 8 feet lower than the first floor of the Watermark apartments. The plaza will serve to screen the level one loading area adjacent to the grocery from view from the adjoining properties, enhance the pedestrian connection to both properties and create valuable space for the daycare.

Given the open maneuvering area and long spans required for the loading area, the plaza cannot be cut back to the south setback line, as the required supporting columns would prohibit truck movement in and out of the loading area. Leaving the loading area uncovered would be detrimental to the project and the adjoining properties as well.

LOCATOR MAP



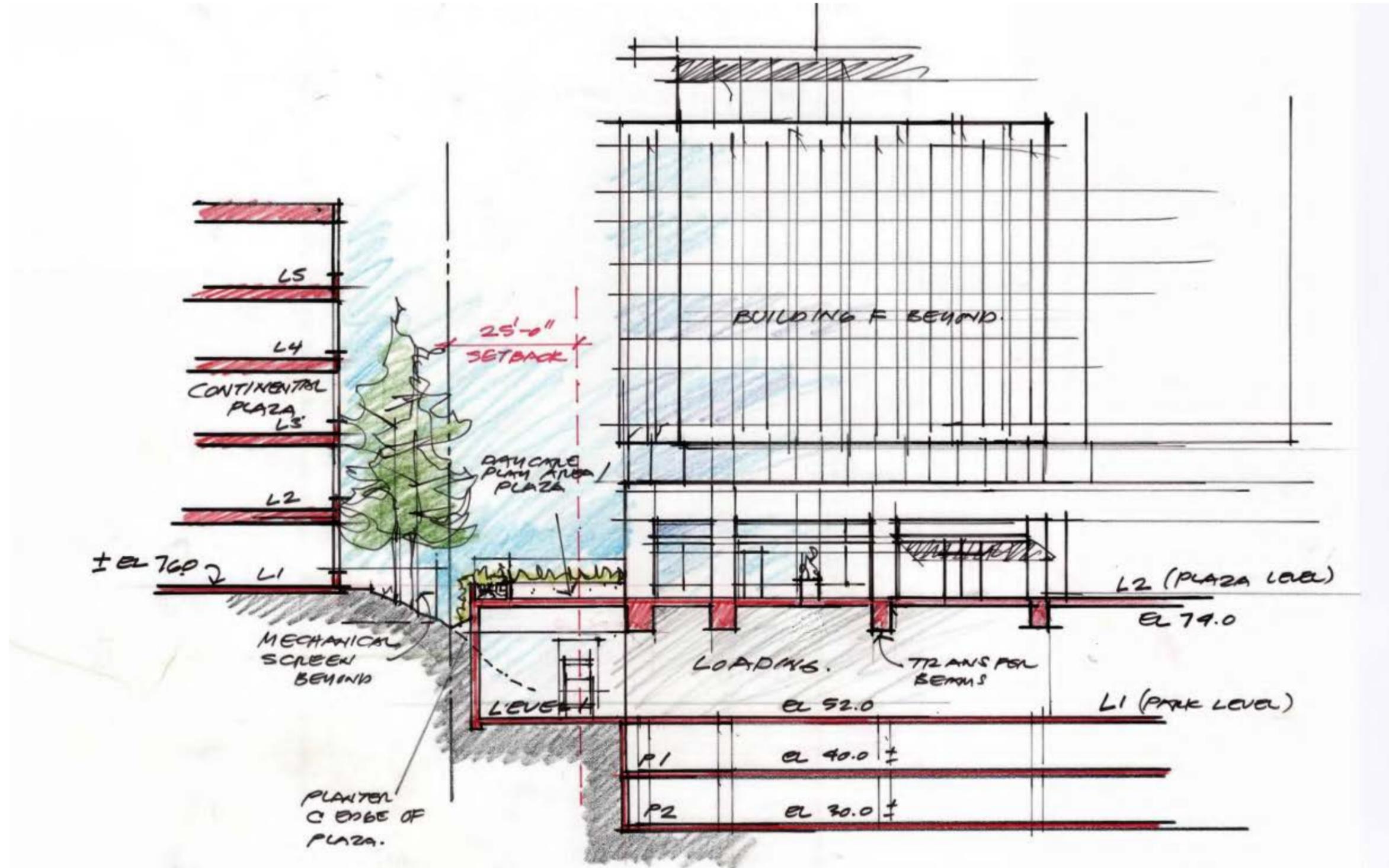
DAYCARE PLAZA AT SETBACK



DESIGN CONCEPT | MINOR MODIFICATION

Sections

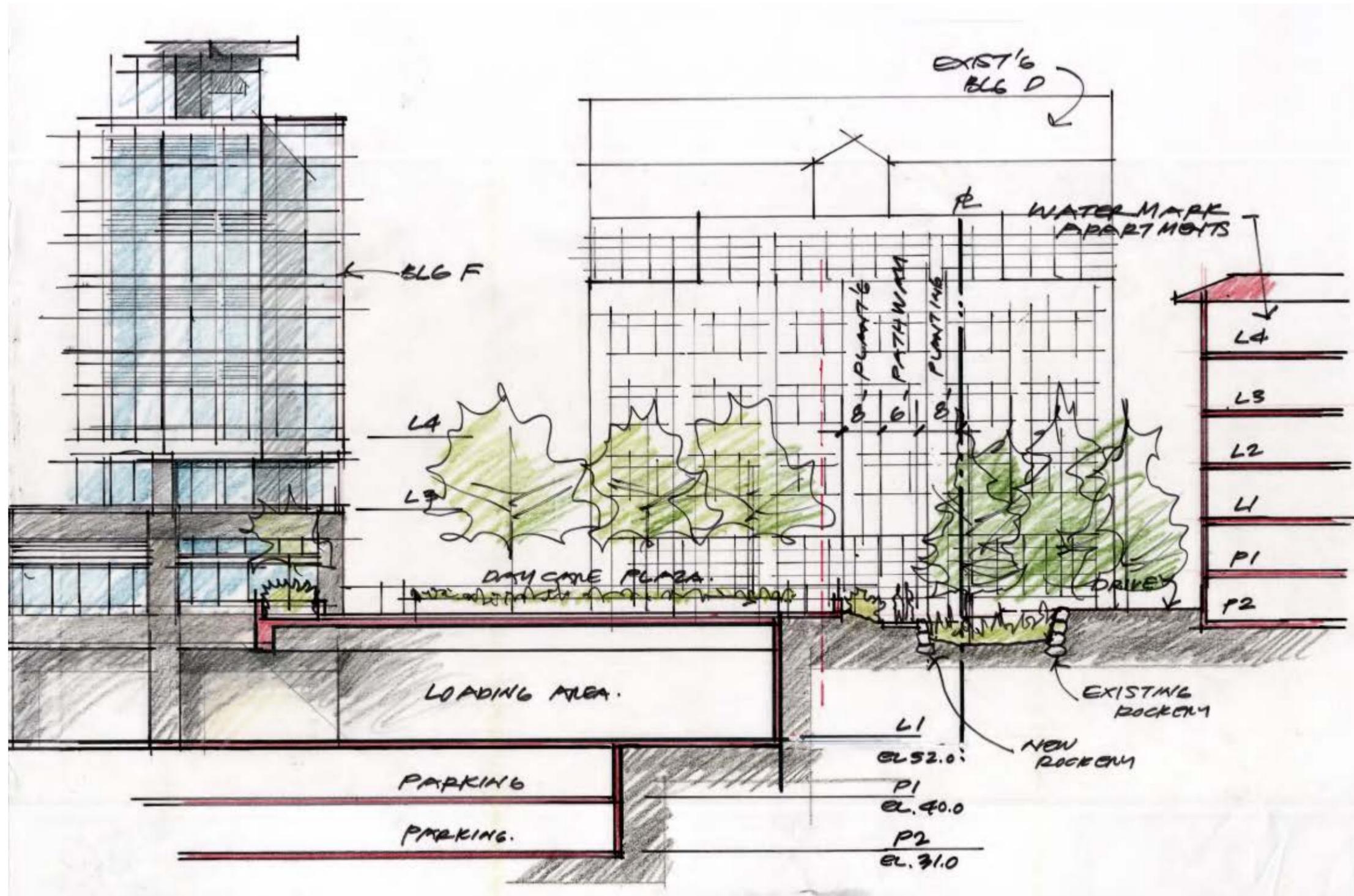
NORTH SOUTH SECTION (FACING WEST)



DESIGN CONCEPT | MINOR MODIFICATION

Sections

EAST WEST SECTION (FACING NORTH)



DESIGN CONCEPT | BUILDINGS B, G, AND F1

Perspectives

PERSPECTIVE LOOKING ABOVE BUILDING G



DESIGN CONCEPT | BUILDINGS B, G, AND F1

Materials and Finishes Palette

MATERIALS AND FINISHES PALETTE

A variety of materials will be used to create a vibrant urban community where shoppers, workers and residents will find craftsmanship, diversity, and a sense of place. Materials such as stone, wood, masonry, precast concrete and metal are juxtaposed with a modern glass

expression to accommodate the need for flexible office space and the desire for a tactile and visual experience. The material palette reflects the casual, accepting nature of Kirkland while embracing its vitality and forward thinking future.



BUILDINGS B, G, AND F1



DESIGN CONCEPT | BUILDINGS B, G, AND F1

Materials and Finishes Palette

AUXILIARY RETAIL BUILDINGS AND SITE FEATURES



F1 01 CORTEN PLANTER WALL



F1 02 CORTEN SCREEN WALL



B 01 PATINATED METAL PANEL RAINSCREEN

G 01 PATINATED METAL PANEL RAINSCREEN



B 06 VISION GLASS

G 06 VISION GLASS



B 04 METAL TRIM FASCIA/MULLION

G 04 METAL TRIM FASCIA/MULLION



B 02 WOOD RAINSCREEN

B 05 WOOD COLUMNS

G 02 WOOD RAINSCREEN



DESIGN CONCEPT | BUILDING F1 + GRAND STAIR

Overview

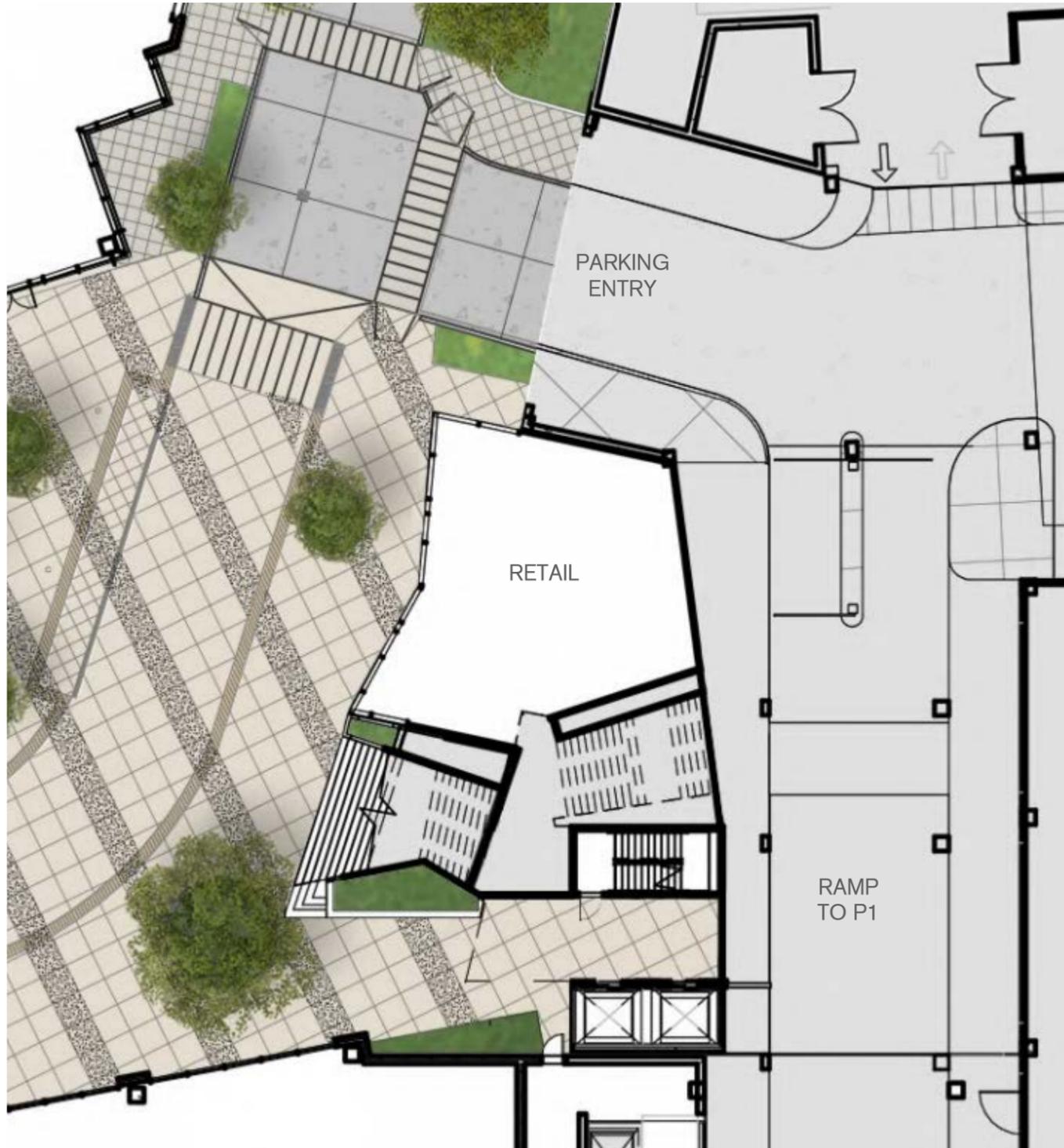
SUMMARY - BUILDING F1

Building F1, and the adjoining vertical circulation elements utilize materials from the palette established by Buildings E and F and the site paving and seating components. Neutral color low-e glass, grey metal panel, and light colored precast combine with natural wood and Corten steel planters to weave these elements into the fabric of the project.

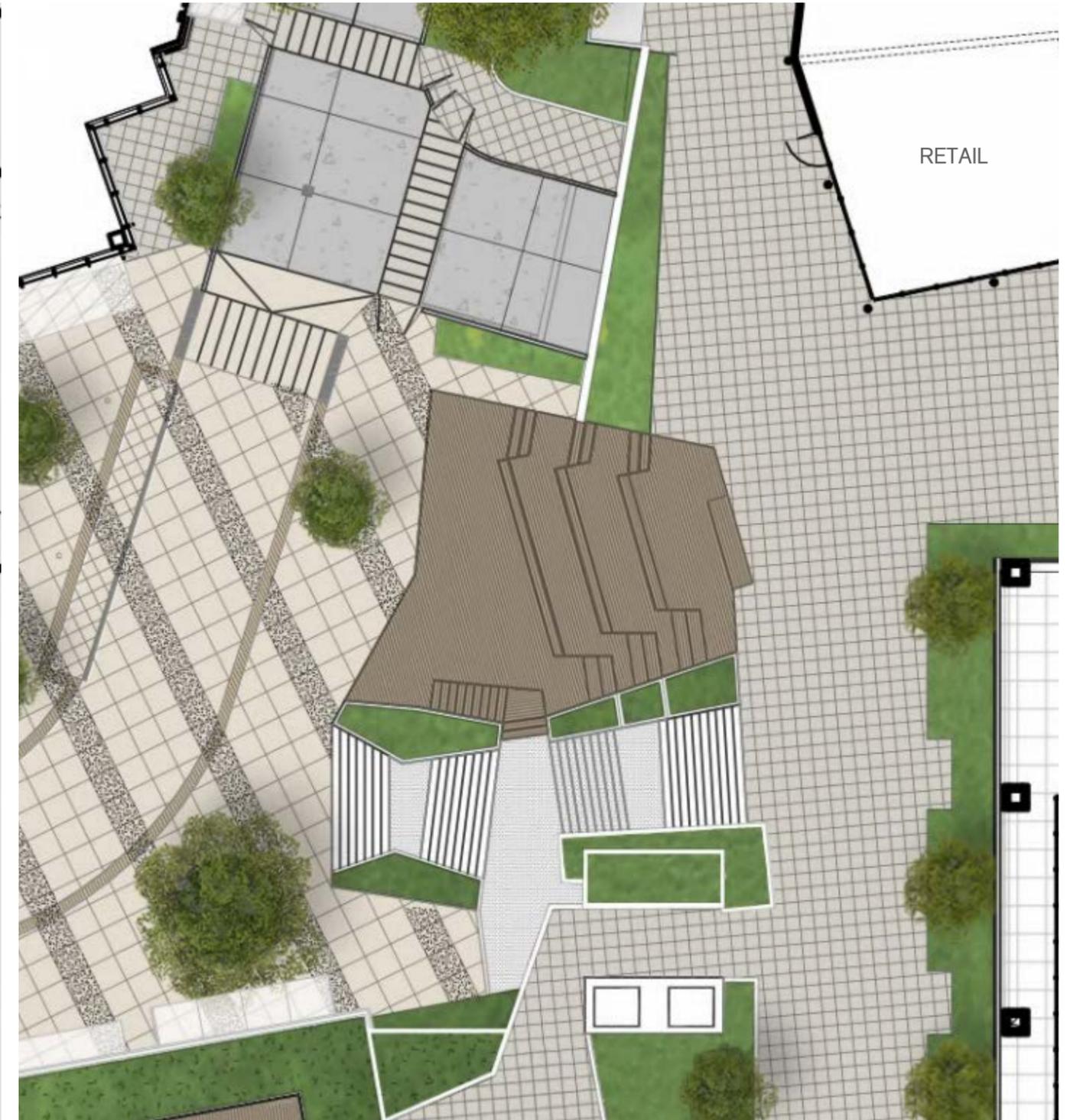
The tapering garage wall leading into the project along the sloped entry drive from Central Way is clad with perforated sheets of Corten steel to act as a floating screen in front of the concrete garage wall, adding texture and richness to the entry experience.



LEVEL 1 FLOOR PLAN



LEVEL 2 FLOOR PLAN



DESIGN CONCEPT | BUILDING F1 + GRAND STAIR

Design Review Feedback Response

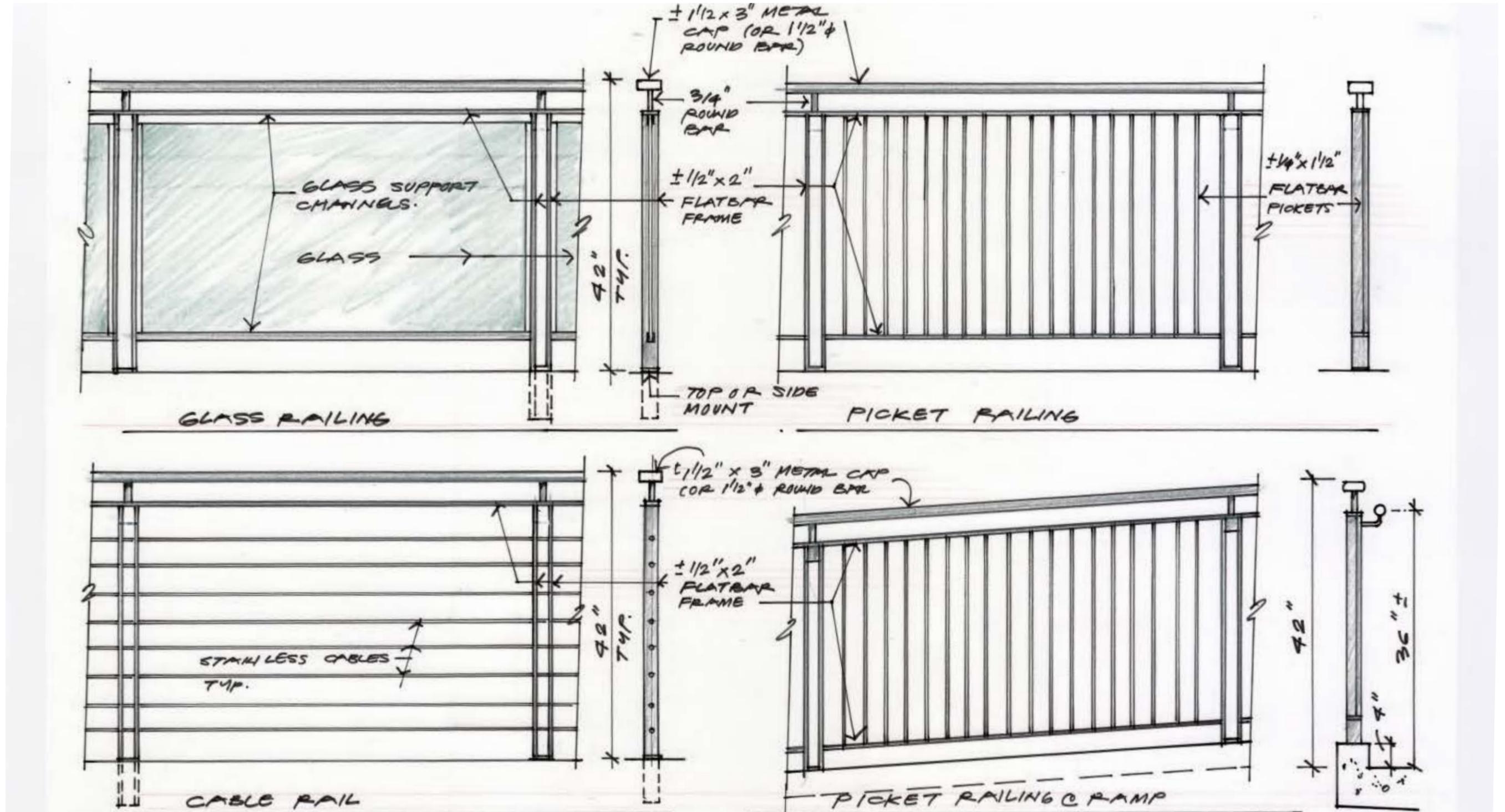
DETAILED PERSPECTIVE OF RAIL



AERIAL PERSPECTIVE VIEW OF BUILDING F1 AND GRAND STAIR (PLATE GLASS RAIL OPTION)



RAILING DETAILS AND ELEVATIONS



DESIGN CONCEPT | BUILDING F1 + GRAND STAIR

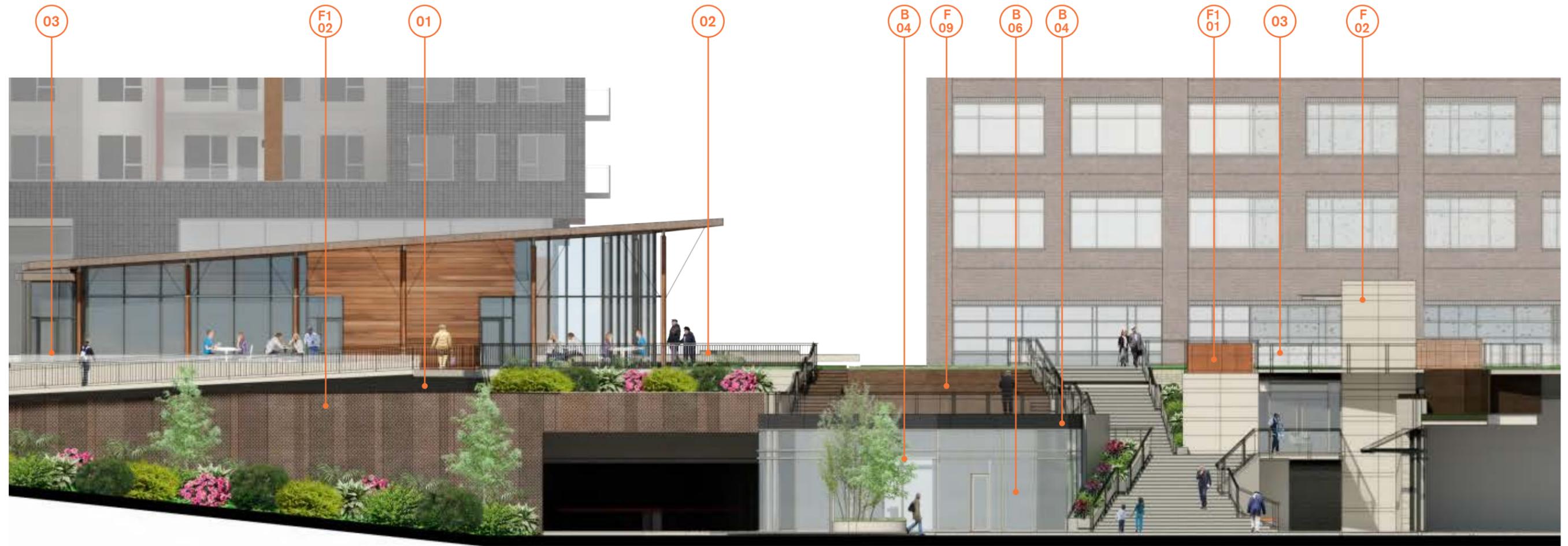
Conceptual Details

RAIL TYPE AREA PLAN



DESIGN CONCEPT | BUILDING F1 + GRAND STAIR
Elevations

WEST ELEVATION



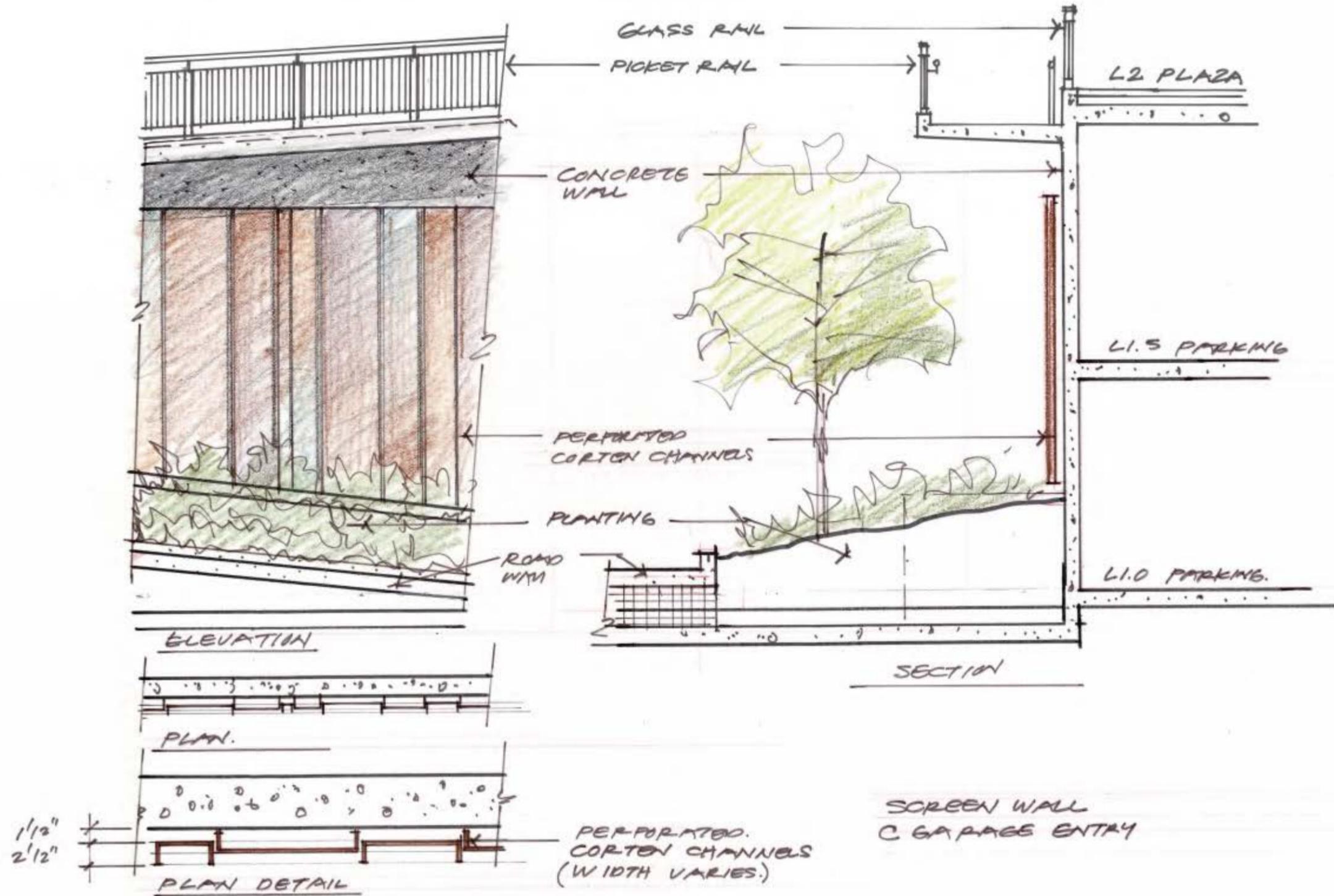
LEGEND

- | | | | |
|-----------------------------------|-------------------------------------|----------------------------|--|
| 01 CONCRETE WALL | B 04 METAL PANEL (DARK GREY) | F 09 WOOD BLEACHERS | F1 01 CORTEN SHEET PLANTER |
| 02 VERTICAL PICKET RAILING | B 04 MULLIONS (DARK GREY) | F 02 PRECAST | F1 02 PERFORATED CORTEN SCREEN WALL (CONCRETE BEHIND) |
| 03 GLASS RAILING | B 06 VISION GLASS | | |

DESIGN CONCEPT | BUILDING F1 + GRAND STAIR

Conceptual Details

CONCEPTUAL DETAIL OF CONDITION AT ENTRY WALL ADJACENT TO GARAGE ENTRY



COLLINSWOERMAN | TALON | KIRKLAND PARKPLACE | DECEMBER 7, 2015

CONCEPTUAL DETAIL OF CONDITION AT ENTRY WALL ADJACENT TO GARAGE ENTRY

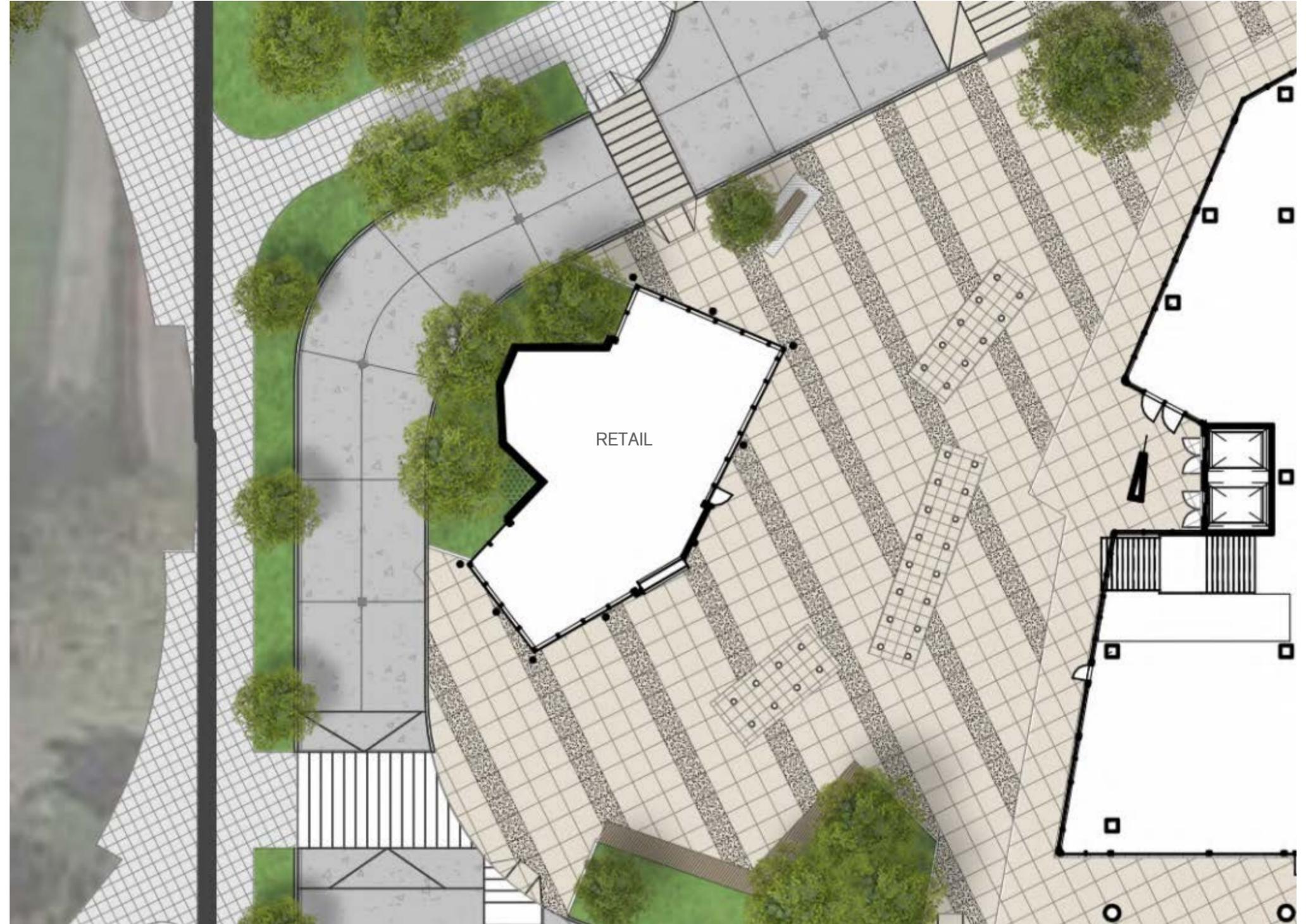


DESIGN CONCEPT | BUILDING G

Overview

SUMMARY - BUILDING G

Building G is a retail pavilion with extensive glass and a combination of real wood rain screen façade and patinated metal panel along with detail elements in gun metal gray finish. The columns will be a combination of wood and steel, and support a large overhanging green roof clad with wood soffit material, finished to match or compliment the siding. The natural wood siding and soffit is used where it will receive protection from the elements and provide the building users with an authentic experience of natural material in the areas of highest use. The patinated metal will provide a counter point to the wood, and a more maintenance free exterior finish at exposed areas. The protective finish used on the wood, and the tone of the patinated metal will be slightly different between Buildings B and G.



PERSPECTIVE LOOKING NORTHWEST TOWARD BUILDING G



DESIGN CONCEPT | BUILDING G

Elevations

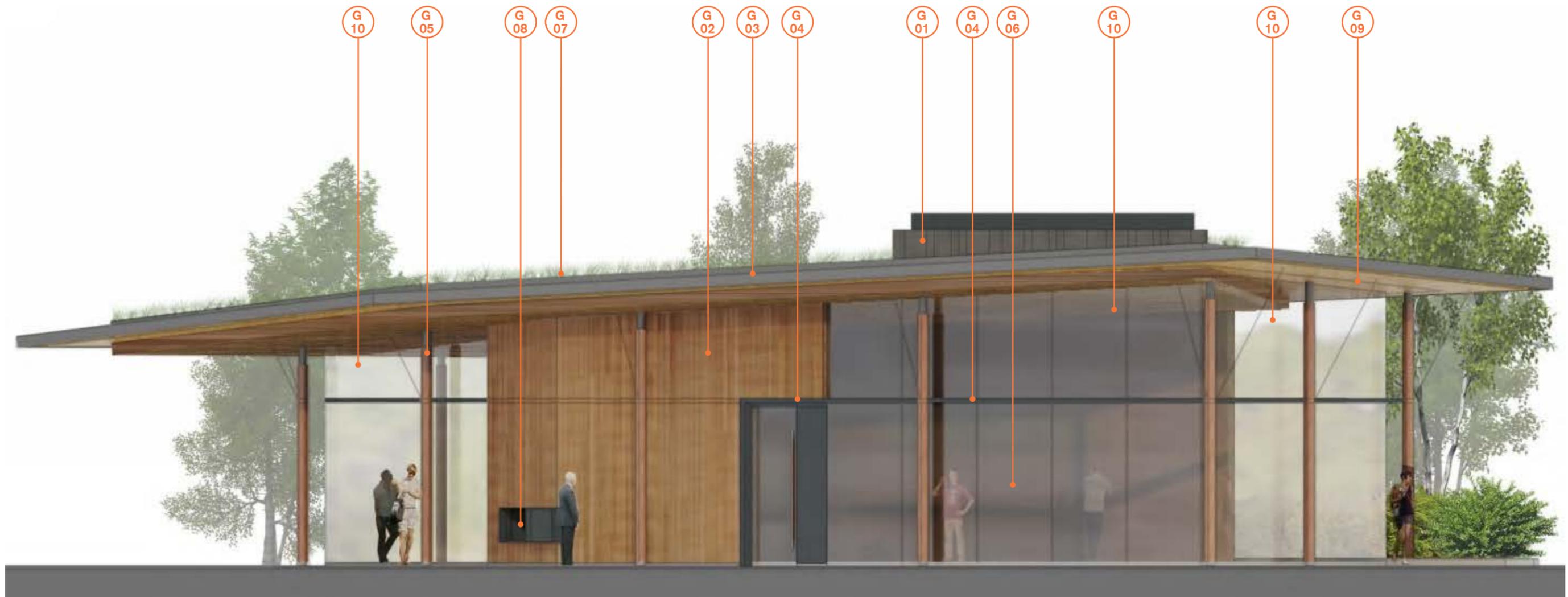
NORTH ELEVATION



LEGEND

- | | | | |
|---|--|-----------------------|--|
| G01 PATINATED METAL PANEL RAINSCREEN | G04 METAL TRIM FASCIA / MULLION | G07 GREEN ROOF | G09 WOOD SOFFIT |
| G02 WOOD RAINSCREEN | G05 WOOD COLUMNS | G08 FIREPLACE | G10 EXTENT OF GLAZING AT UPPER BAND TO BE CONFIRMED |
| G03 METAL PANEL (MEDIUM GREY) | G06 VISION GLASS (NEUTRAL TONE) | | |

EAST ELEVATION



LEGEND

- | | | | |
|--|---|------------------------|---|
| G 01 PATINATED METAL PANEL RAINSCREEN | G 04 METAL TRIM FASCIA / MULLION | G 07 GREEN ROOF | G 09 WOOD SOFFIT |
| G 02 WOOD RAINSCREEN | G 05 WOOD COLUMNS | G 08 FIREPLACE | G 10 EXTENT OF GLAZING AT UPPER BAND TO BE CONFIRMED |
| G 03 METAL PANEL (MEDIUM GREY) | G 06 VISION GLASS (NEUTRAL TONE) | | |

DESIGN CONCEPT | BUILDING G

Elevations

SOUTH ELEVATION



LEGEND

- | | | | |
|--|---|------------------------|---|
| G 01 PATINATED METAL PANEL RAINSCREEN | G 04 METAL TRIM FASCIA / MULLION | G 07 GREEN ROOF | G 09 WOOD SOFFIT |
| G 02 WOOD RAINSCREEN | G 05 WOOD COLUMNS | G 08 FIREPLACE | G 10 EXTENT OF GLAZING AT UPPER BAND TO BE CONFIRMED |
| G 03 METAL PANEL (MEDIUM GREY) | G 06 VISION GLASS (NEUTRAL TONE) | | |

WEST ELEVATION



LEGEND

- | | | | |
|--|---|------------------------|---|
| G 01 PATINATED METAL PANEL RAINSCREEN | G 04 METAL TRIM FASCIA / MULLION | G 07 GREEN ROOF | G 09 WOOD SOFFIT |
| G 02 WOOD RAINSCREEN | G 05 WOOD COLUMNS | G 08 FIREPLACE | G 10 EXTENT OF GLAZING AT UPPER BAND TO BE CONFIRMED |
| G 03 METAL PANEL (MEDIUM GREY) | G 06 VISION GLASS (NEUTRAL TONE) | | |

DESIGN CONCEPT | BUILDING G

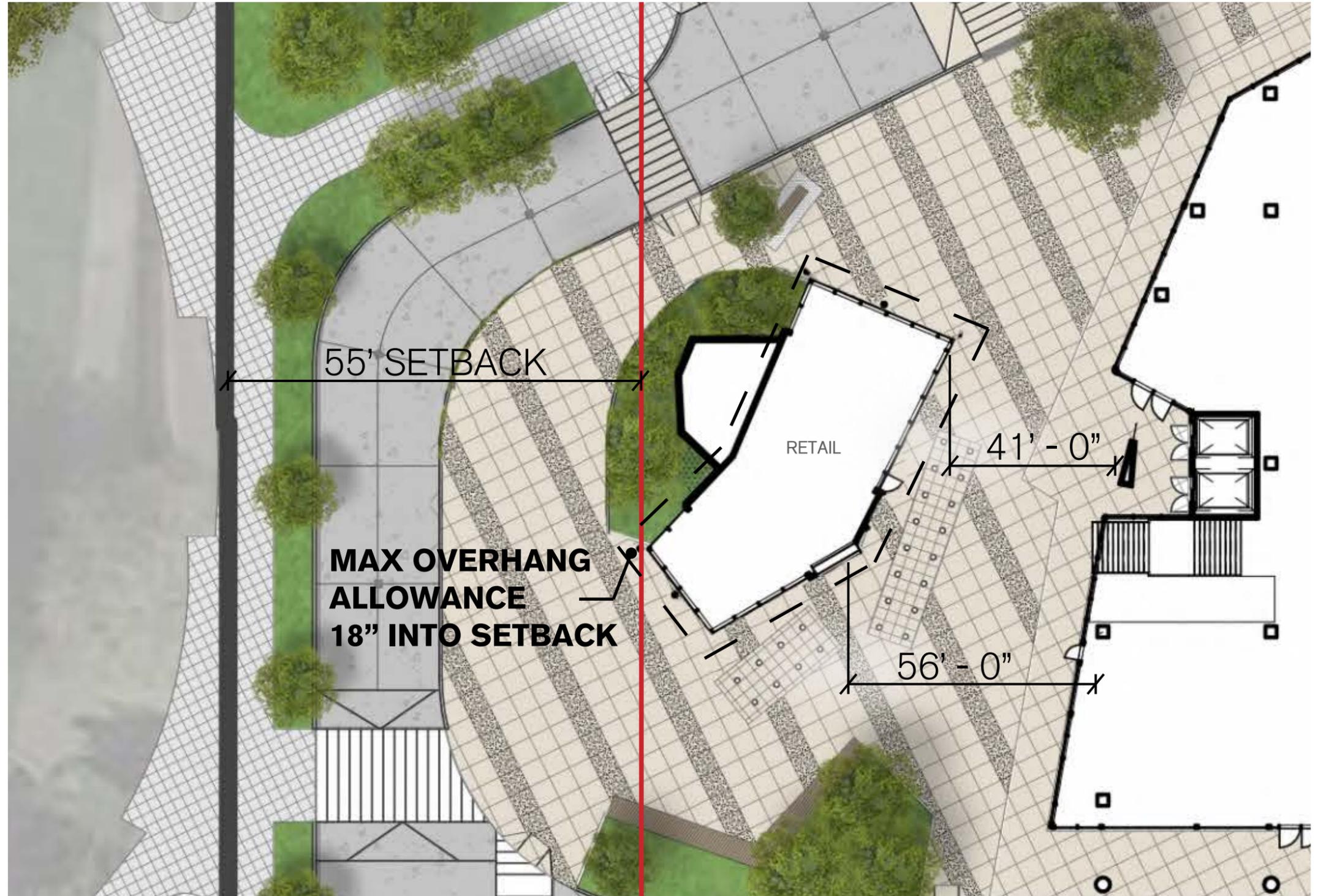
Minor Modification Request

MINOR MODIFICATION REQUEST

A minor modification to the required 55'-0" setback from the park edge is requested for building G. This building as shown encroaches into the 55 foot setback by approximately 13 and half feet as measured to the building face. The roof overhang would encroach approximately 21 feet.

The preferred building placement allows for a properly scaled plaza with space for seating at building G as well as space for outdoor display and circulation adjacent to the grocery. In addition, the plaza fountains will need appropriate space around them to allow full utilization and enjoyment without compromising seating and circulation. Moving the building and overhang out of the setback completely would eliminate a significant portion of the fountains and compromise the plaza width.

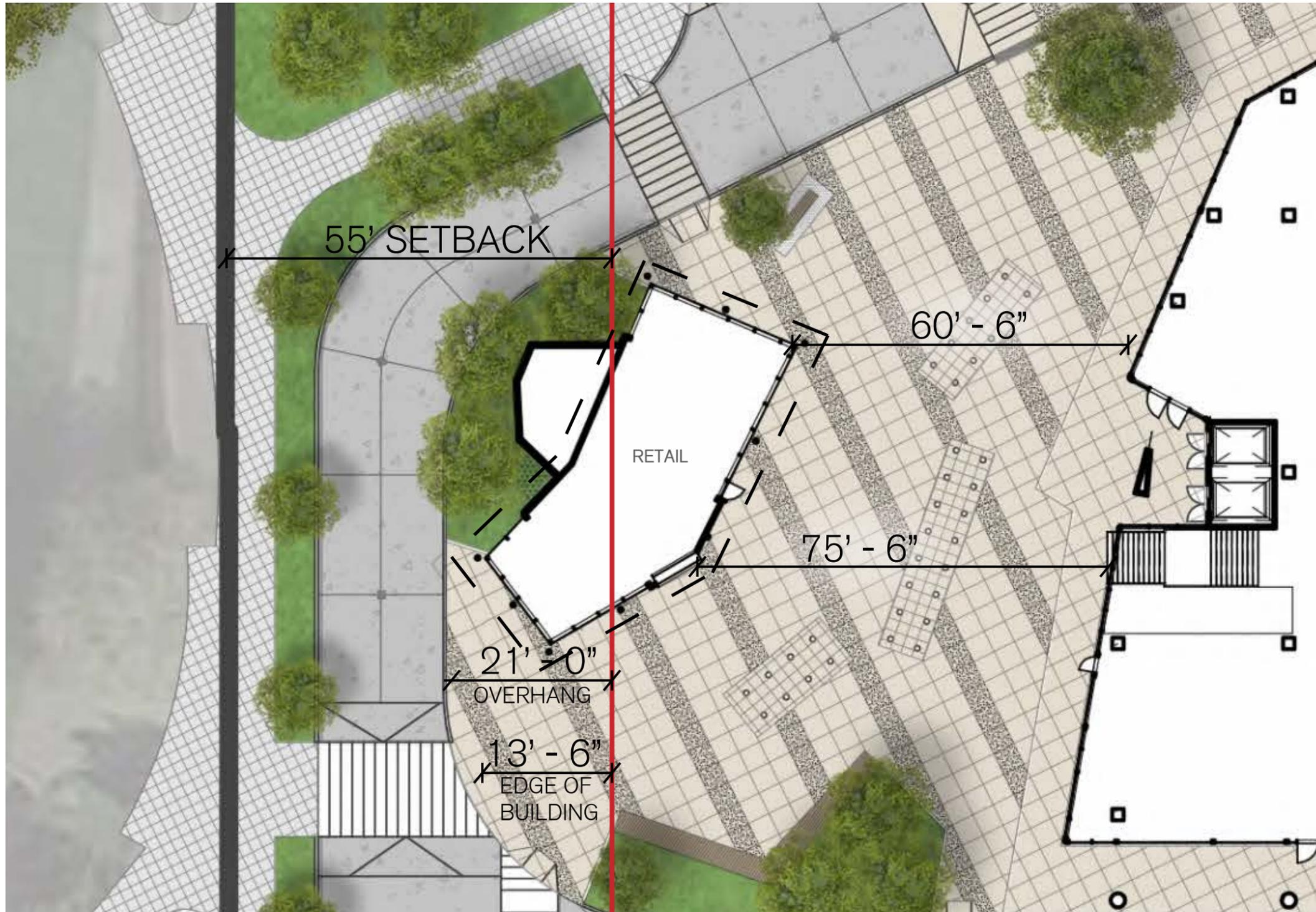
The current distance from the face of building G to the grocery at the narrowest



DESIGN CONCEPT | BUILDING G

Minor Modification Request

MINOR MODIFICATION REQUEST (CONT.)



point is approximately 60 feet, and moving the building out of the setback would reduce this plaza width to approximately 41 feet (roof overhangs can encroach 18 inches into setbacks). The allowed building height in this portion of the site is 60 feet and four stories. At one story and twenty two feet in height, this building is significantly lower than allowed.

The building configuration places a landscape buffer and the more solid, back of house portion of the building at the roadway bend, where there is no pedestrian crossing, while opening up the north, south and east facades to the plaza. The northern and southern portions of the west facades also open up to views of the park.

Keeping the building closer to the roadway allows the cross walks at the north and south ends of the building to pass by the glassy ends of the building and connect directly to the plaza.

DESIGN CONCEPT | BUILDING G

Perspectives

PERSPECTIVE LOOKING NORTH ABOVE BUILDING G



DESIGN CONCEPT | BUILDING B

Overview

SUMMARY - BUILDING B

Building B is another free standing retail pavilion which also employs extensive glass and a combination of real wood rain screen façade and patinated metal panel along with detail elements in gun metal gray finish. The columns will be a combination of wood and steel, and support a large overhanging green roof clad with wood soffit material, finished to match or compliment the siding. The natural wood siding and soffit is used where it will receive protection from the elements and provide the building users with an authentic experience of natural material in the areas of highest use. The patinated metal will provide a counter point to the wood, and a more maintenance free exterior finish at exposed areas.



PERSPECTIVE LOOKING EAST TOWARD BUILDING B



DESIGN CONCEPT | BUILDING B

Elevations

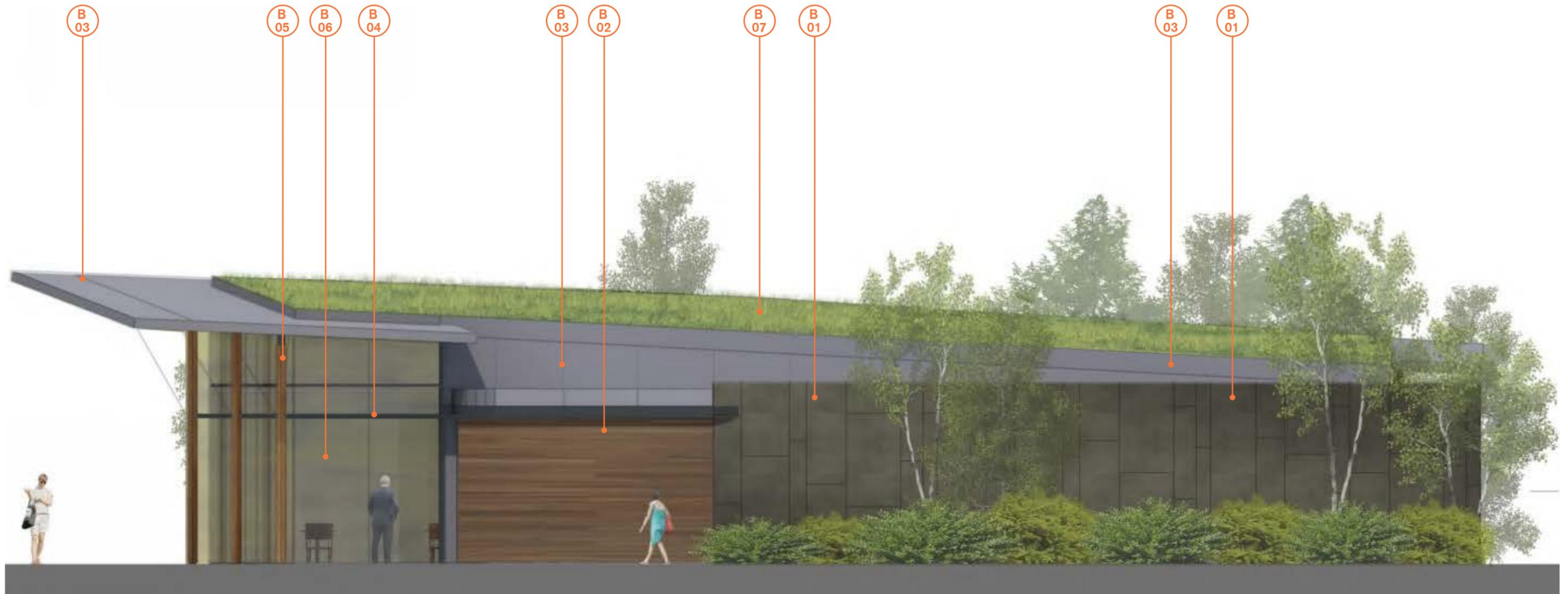
NORTH ELEVATION



LEGEND

- | | | |
|--|---|---|
| B 01 PATINATED METAL PANEL RAINSCREEN | B 04 METAL TRIM FASCIA / MULLION | B 07 GREEN ROOF |
| B 02 WOOD RAINSCREEN | B 05 WOOD COLUMNS | B 08 WOOD SOFFIT |
| B 03 METAL PANEL (MEDIUM GREY) | B 06 VISION GLASS (NEUTRAL TONE) | B 09 EXTENT OF GLAZING AT UPPER BAND TO BE CONFIRMED |

EAST ELEVATION



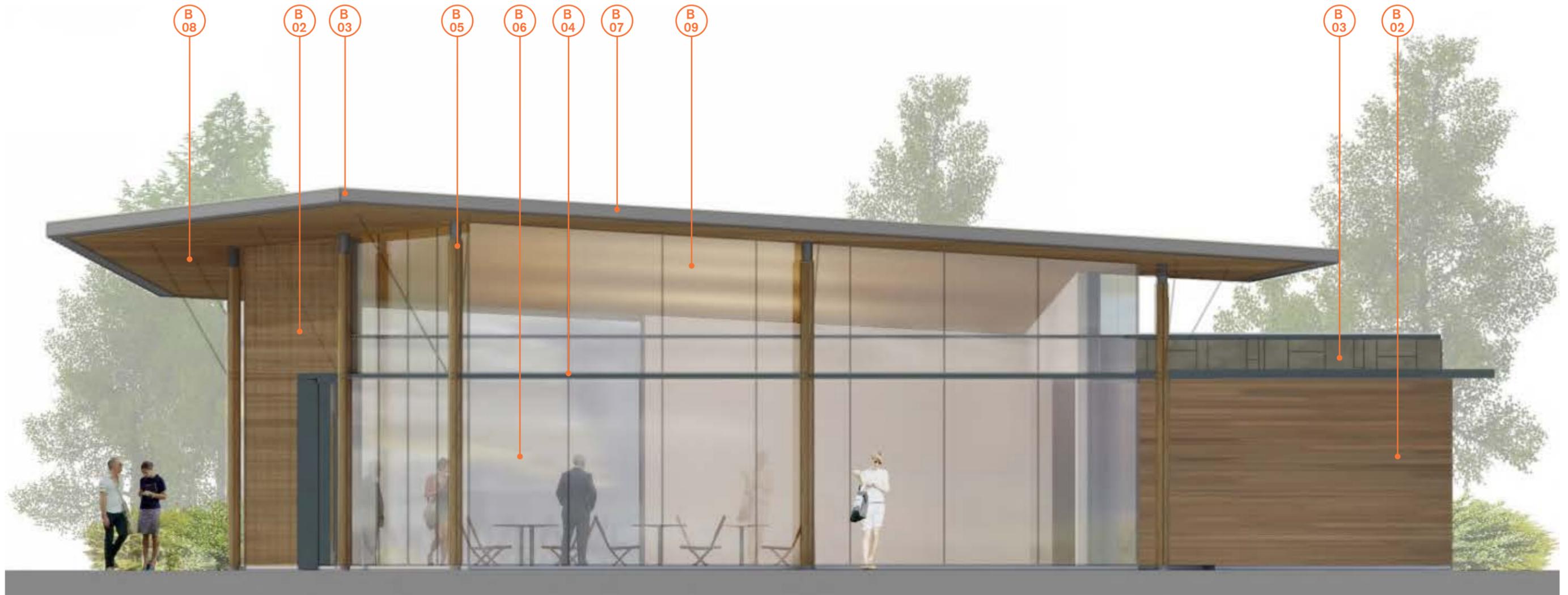
LEGEND

- | | | |
|--|---|---|
| B 01 PATINATED METAL PANEL RAINSCREEN | B 04 METAL TRIM FASCIA / MULLION | B 07 GREEN ROOF |
| B 02 WOOD RAINSCREEN | B 05 WOOD COLUMNS | B 08 WOOD SOFFIT |
| B 03 METAL PANEL (MEDIUM GREY) | B 06 VISION GLASS (NEUTRAL TONE) | B 09 EXTENT OF GLAZING AT UPPER BAND TO BE CONFIRMED |

DESIGN CONCEPT | BUILDING B

Elevations

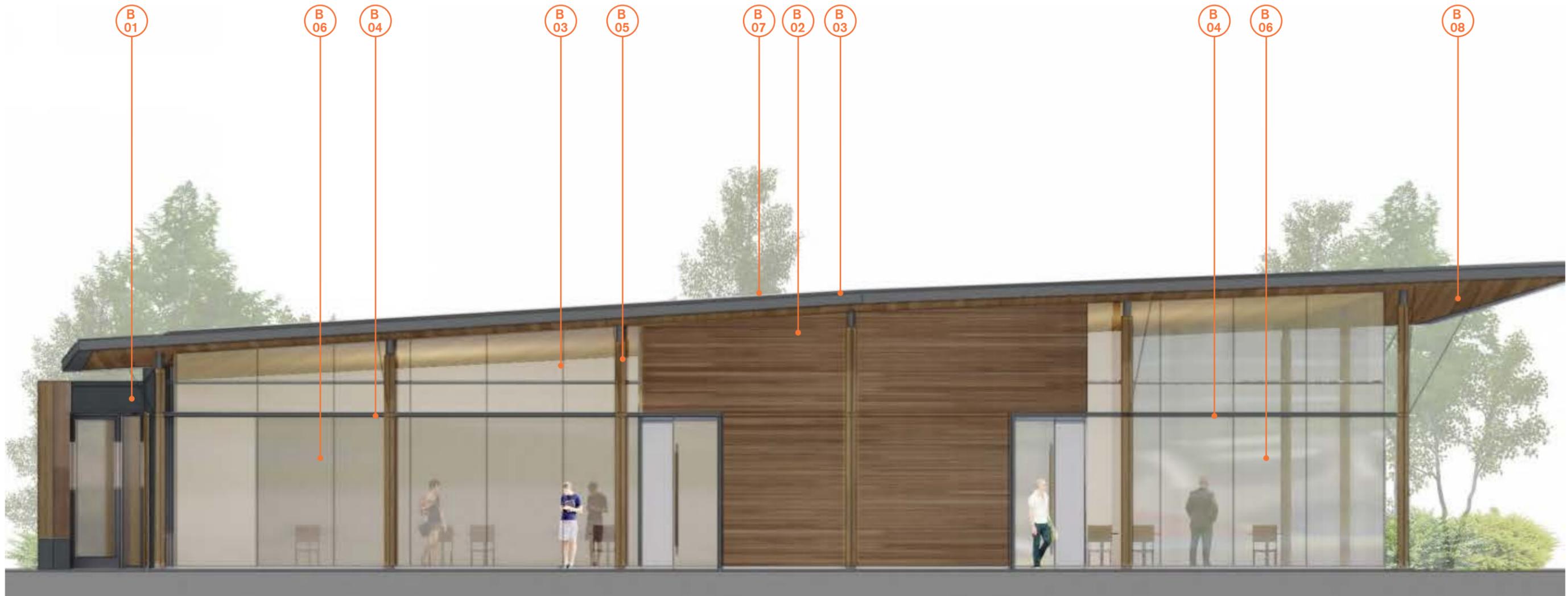
SOUTH ELEVATION



LEGEND

- | | | |
|--|---|---|
| B 01 PATINATED METAL PANEL RAINSCREEN | B 04 METAL TRIM FASCIA / MULLION | B 07 GREEN ROOF |
| B 02 WOOD RAINSCREEN | B 05 WOOD COLUMNS | B 08 WOOD SOFFIT |
| B 03 METAL PANEL (MEDIUM GREY) | B 06 VISION GLASS (NEUTRAL TONE) | B 09 EXTENT OF GLAZING AT UPPER BAND TO BE CONFIRMED |

WEST ELEVATION



LEGEND

- | | | |
|--|---|---|
| B 01 PATINATED METAL PANEL RAINSCREEN | B 04 METAL TRIM FASCIA / MULLION | B 07 GREEN ROOF |
| B 02 WOOD RAINSCREEN | B 05 WOOD COLUMNS | B 08 WOOD SOFFIT |
| B 03 METAL PANEL (MEDIUM GREY) | B 06 VISION GLASS (NEUTRAL TONE) | B 09 EXTENT OF GLAZING AT UPPER BAND TO BE CONFIRMED |

DESIGN CONCEPT | BUILDING B

Perspectives

PERSPECTIVE LOOKING WEST ABOVE BUILDING B





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