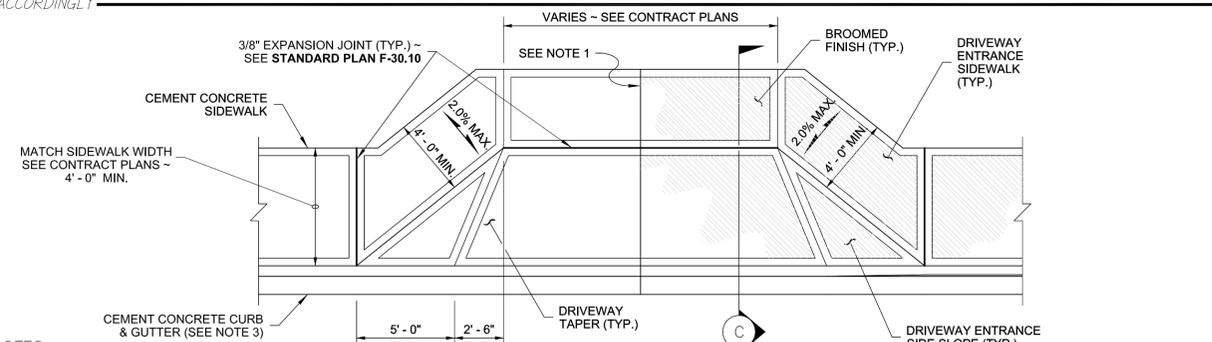


LAKE WASHINGTON BOULEVARD N.E.

PLAN NORTH

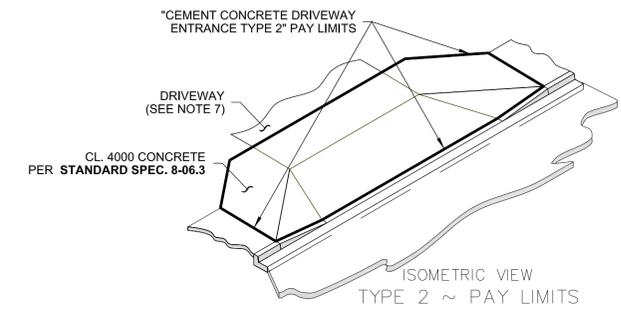
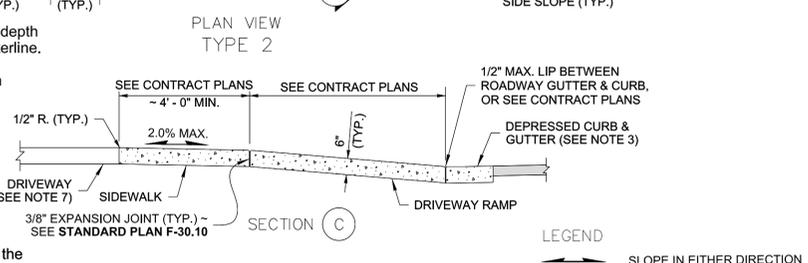
**PROPOSED SITE PLAN WITH REVISED REQUIRED SETBACK(S)**  
 SETBACKS AS SHOWN ESTABLISHED BY CITY OF KIRKLAND PUBLIC WORKS DEPARTMENT

SCALE: 3/16"=1'-0"



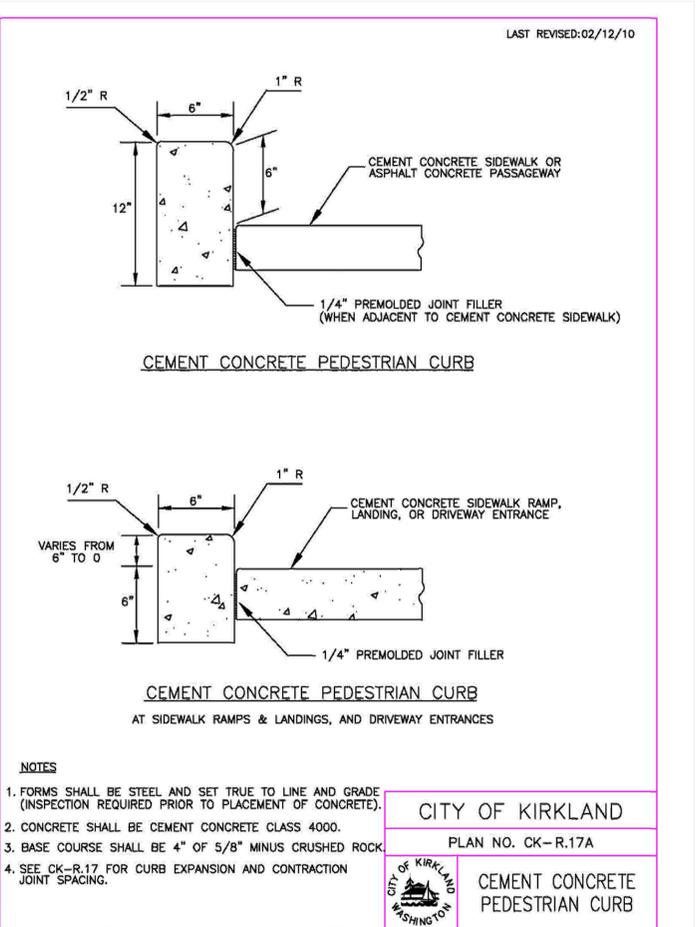
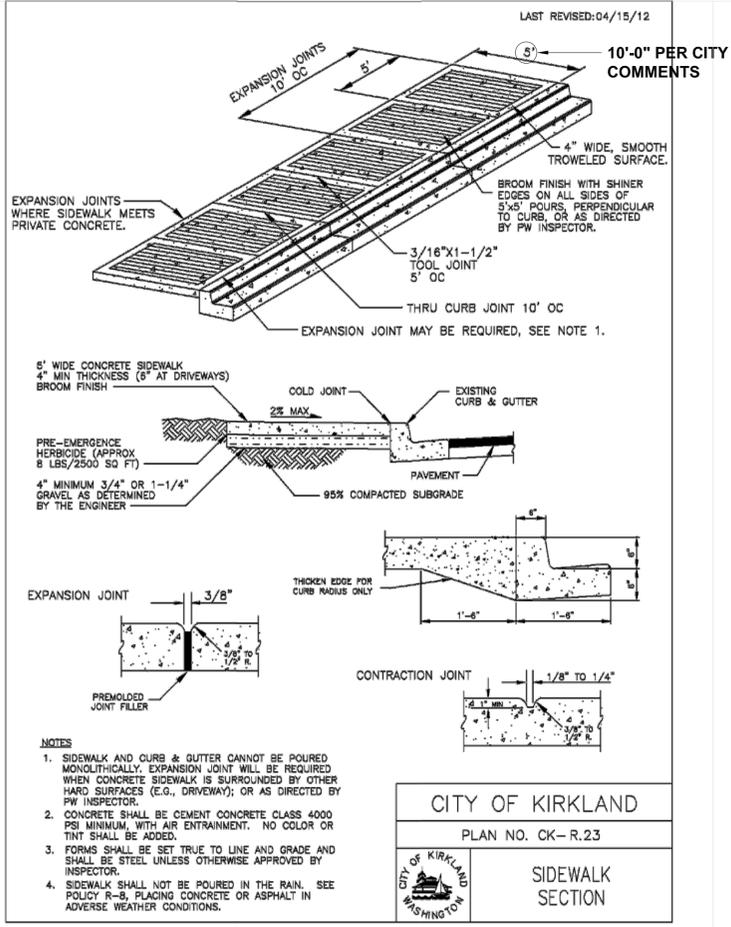
**NOTES**

- When the driveway width exceeds 15 feet, construct a full depth expansion joint with 3/8" joint filler along the driveway centerline. See **Standard Plan F-30.10**. Construct expansion joints parallel with the centerline as required at 15 feet maximum spacing when driveway widths exceed 30 feet.
- See **Standard Plan F-30.10** for sidewalk details.
- Curb and gutter shown; see the Contract Plans for the curb design specified. See **Standard Plan F-10.12** for Curb Details.
- Avoid placing drainage structures, junction boxes or other obstructions in front of driveway entrances.
- Where "GRADE BREAK" is called out, the entire length of the line between the two adjacent surface planes shall be flush.
- The curb ramp maximum running slope shall not require the ramp length to exceed 15 feet to avoid chasing the slope indefinitely when connecting to steep grades. When applying the 15 foot max. length, the running slope of the curb ramp shall be as flat as feasible.
- Pay item does not include driveway. See Contract Plans.



**TYPICAL CURB CUT DETAIL**

REFERENCE W.S.D.O.T. STANDARD PLAN F-80.10-02, TYPE 2



**NOTES**

- FORMS SHALL BE STEEL AND SET TRUE TO LINE AND GRADE (INSPECTION REQUIRED PRIOR TO PLACEMENT OF CONCRETE).
- CONCRETE SHALL BE CEMENT CONCRETE CLASS 4000.
- BASE COURSE SHALL BE 4" OF 5/8" MINUS CRUSHED ROCK.
- SEE CK-R-17 FOR CURB EXPANSION AND CONTRACTION JOINT SPACING.

CITY OF KIRKLAND  
 PLAN NO. CK-R.23  
 SIDEWALK SECTION

CITY OF KIRKLAND  
 PLAN NO. CK-R.17A  
 CEMENT CONCRETE PEDESTRIAN CURB

**Nutty - CAD**  
 6300 159th AVE. S.E.  
 Snohomish, WA, 98296  
 Ph: 360-580-7507 Fr: 360-580-3147

**HomeStyling**  
 DESIGN  
 7301 Woodman Rd. E. • Seattle, WA 98115  
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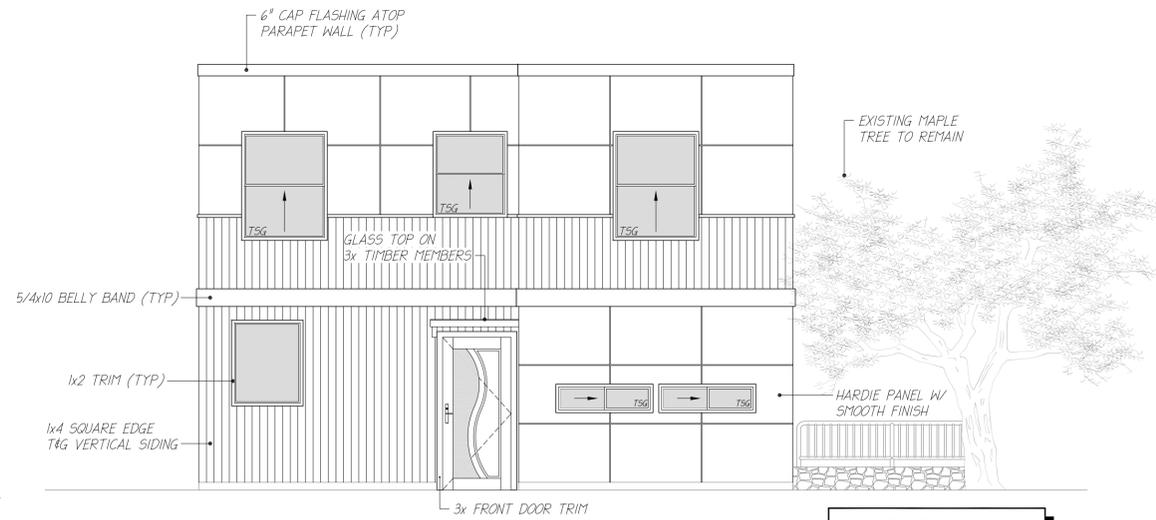
**Michael Barto Residence**  
 4617 Lake Washington Boulevard N.E.  
 Kirkland, Washington 98033

Plan Title  
 Proposed Variance Site Plan  
 Drawn  
 Doug A  
 Date  
 08/12/2014

Plan Revisions  
 01 04/08/2014  
 02 02/27/2015  
 03 04/28/2015  
 04 07/04/2015  
 05 08/05/2015  
 06 11/02/2015

Sheet:  
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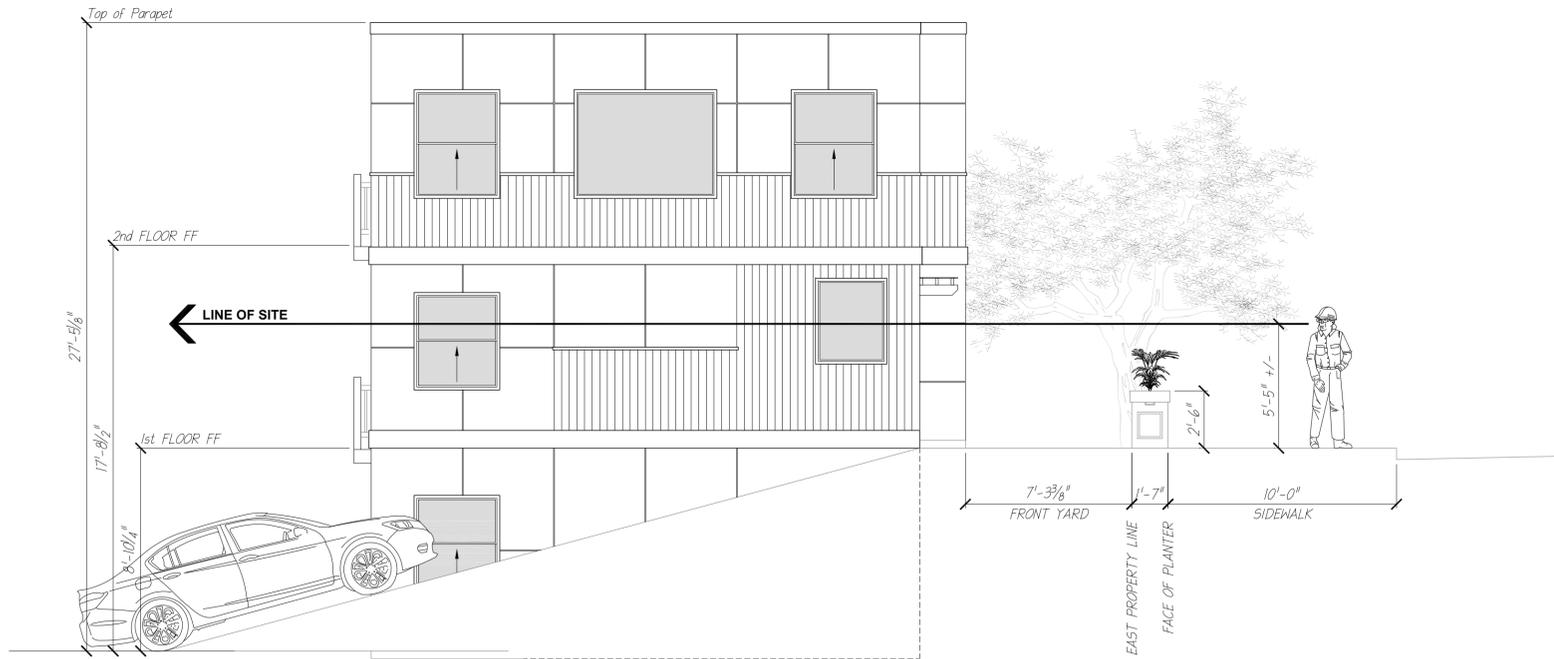
DO NOT SCALE THIS DRAWING



LANDSCAPE ELEMENTS  
ALONG EAST PROPERTY  
LINE NOT SHOWN FOR  
PURPOSE OF CLARITY

PROPOSED EAST ELEVATION (FRONT)

SCALE: 1/4"=1'-0"



PROPOSED SOUTH ELEVATION (LEFT)

SCALE: 1/4"=1'-0"

**Nutty -CAD**  
 "Autodesk certified and approved specialist"  
 6300 159th AVE. #250  
 Snohomish, WA, 98296  
 Ph: 360-567-3507 Fax: 360-567-3147

**HomeStyling**  
 DESIGN  
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**Michael Barto Residence**  
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Plan Title  
Proposed Elevations

Drawn  
Doug A

Date  
08/12/2014

Plan Revisions

01	09/08/2014
02	11/02/2015

Sheet:  
**A-2**

DO NOT SCALE THIS DRAWING