



SHORT PLAT NO. _____
KIRKLAND, WASHINGTON

DEDICATION
(R.C.W. 58.17.165)

KNOW ALL PEOPLE BY THESE PRESENTS that we, the undersigned owners of interest in the land hereby short subdivided, hereby declare this short plat to be the graphic representation of the short subdivision made hereby, and do hereby dedicate to the use of the public forever all streets and avenues not shown as private hereon and dedicate the use thereof for all public purposes not inconsistent with the use thereof for public highway purposes, and also the right to make all necessary slopes for cuts and fills upon the lots shown thereon in the original reasonable grading of said streets and avenues, and further dedicate to the use of the public all the easements and tracts shown on this short plat for all public purposes as indicated thereon, including but not limited to parks, open space, utilities and drainage unless such easements or tracts are specifically identified on this short plat as being dedicated or conveyed to a person or entity other than the public, in which case we do hereby dedicate such streets, easements, or tracts to the person or entity identified and for the purpose stated.

Further, the undersigned owners of the land hereby short subdivided waive for themselves, their heirs and assigns and any person or entity deriving title from the undersigned, any and all claims from damages against The City of Kirkland, its successors and assigns which may be occasioned by the establishment, construction, or maintenance of roads and/or drainage systems within this short subdivision other than claims resulting from inadequate maintenance by the City of Kirkland.

Further, the undersigned owners of the land hereby short subdivided agree for themselves, their heirs and assigns to indemnify and hold The City of Kirkland, its successors and assigns, harmless from any damage, including any costs of defense, claimed by persons within or without this short subdivision to have been caused by alterations of the ground surface, vegetation, drainage, or surface or subsurface water flows within this short subdivision or by establishment, construction or maintenance of the roads within this short subdivision. Provided, this waiver and indemnification shall not be construed as releasing The City of Kirkland, its successors or assigns, from liability for damages, including the cost of defense, resulting in whole or in part from the negligence of The City of Kirkland, its successors, or assigns.

This subdivision, dedication, waiver of claims and agreement to hold harmless is made with the free consent and in accordance with the desires of said owners.

IN WITNESS WHEREOF we set our hands and seals.

Nebil Dikmen, Manager

ACKNOWLEDGMENTS

State of Washington

County of _____

On this ____ day of _____, 20____, personally appeared to me known to be the _____ of the corporation that executed foregoing instrument, and acknowledged the said instrument to be the free and voluntary act and deed of said corporation, for the uses and purposes therein mention, and on oath stated that he/she was duly authorized to execute the said instrument and that the seal affixed is the corporate seal of said corporation.

Witness my hand and official seal hereto affixed the day and year first above written

Notary Public in and for the State of Washington
Notary (Print)
My Appointment Expires _____
Date _____

APPROVALS:

Examined, Reviewed and Approved by the City of Kirkland pursuant to the Short Plat Subdivision Provisions of Title 22 (Land Subdivision), Kirkland Municipal Code, This _____ Day of _____, 2016

DEPARTMENT OF ASSESSMENTS

Examined and approved this ____ day of _____, 20____

King County Assessor

Deputy Assessor

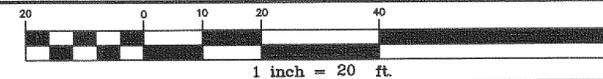
Director, Development of Planning and Community Development

Account Number 264950-0095

RECORDING NO. _____

VOL./PAGE _____

SCALE: _____



PORTION OF

SW 1/4, SW 1/4 SEC 08, TWN 25 N, R 5 E, W.M.

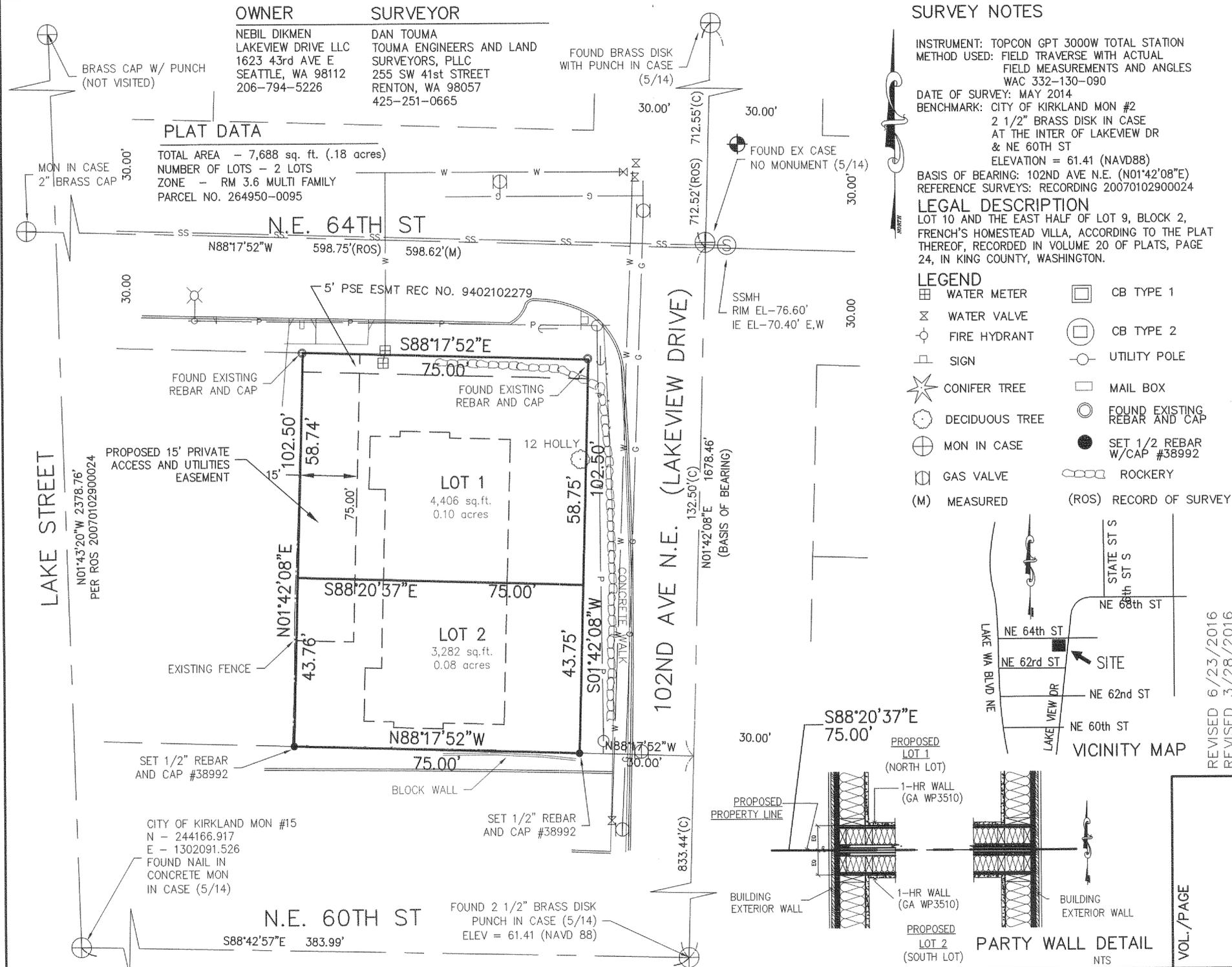
OWNER SURVEYOR

NEBIL DIKMEN
LAKEVIEW DRIVE LLC
1623 43rd AVE E
SEATTLE, WA 98112
206-794-5226

DAN TOUMA
TOUMA ENGINEERS AND LAND SURVEYORS, PLLC
255 SW 41st STREET
RENTON, WA 98057
425-251-0665

PLAT DATA

TOTAL AREA - 7,688 sq. ft. (.18 acres)
NUMBER OF LOTS - 2 LOTS
ZONE - RM 3.6 MULTI FAMILY
PARCEL NO. 264950-0095



SURVEY NOTES

INSTRUMENT: TOPCON GPT 3000W TOTAL STATION
METHOD USED: FIELD TRAVERSE WITH ACTUAL FIELD MEASUREMENTS AND ANGLES
WAC 332-130-090

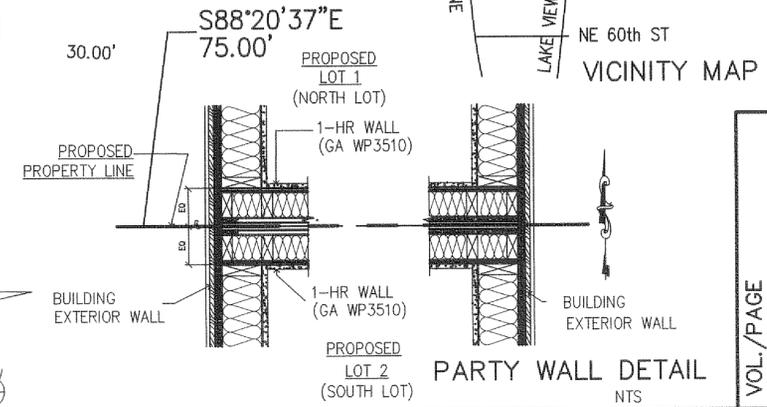
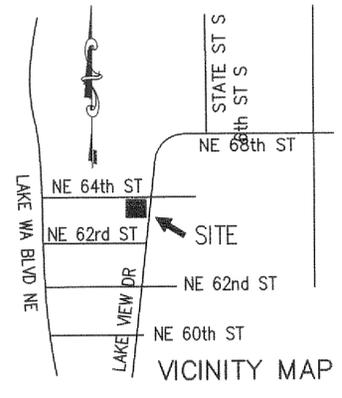
DATE OF SURVEY: MAY 2014
BENCHMARK: CITY OF KIRKLAND MON #2
2 1/2" BRASS DISK IN CASE
AT THE INTER OF LAKEVIEW DR & NE 60TH ST
ELEVATION = 61.41 (NAVD88)

BASIS OF BEARING: 102ND AVE N.E. (N01°42'08"E)
REFERENCE SURVEYS: RECORDING 20070102900024

LEGAL DESCRIPTION
LOT 10 AND THE EAST HALF OF LOT 9, BLOCK 2, FRENCH'S HOMESTEAD VILLA, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 20 OF PLATS, PAGE 24, IN KING COUNTY, WASHINGTON.

LEGEND

- ☐ WATER METER
- ☒ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊠ SIGN
- ★ CONIFER TREE
- ⊙ DECIDUOUS TREE
- ⊕ MON IN CASE
- ⊠ GAS VALVE
- (M) MEASURED
- ☐ CB TYPE 1
- ⊙ CB TYPE 2
- ⊙ UTILITY POLE
- ☐ MAIL BOX
- ⊙ FOUND EXISTING REBAR AND CAP
- SET 1/2 REBAR W/CAP #38992
- ⊠ ROCKERY
- (ROS) RECORD OF SURVEY



REVISED 6/23/2016
REVISED 3/28/2016

VOL./PAGE _____

RECORDER'S CERTIFICATE

filed for record this.....day of.....,20.....at.....M
in book.....of.....at page.....at the request of

Mgr. Supt. of Records

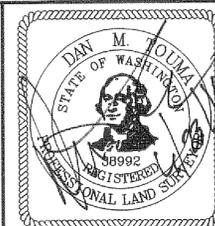
LAND SURVEYOR'S CERTIFICATE

This Short Plat correctly represents a survey made by me or under my direction in conformance with the requirements of the appropriate State and County Statute and Ordinance in JUNE, 2016

Certificate No. 38992

TOUMA ENGINEERS AND LAND SURVEYORS, PLLC

255 SW 41st STREET • RENTON WA 98057
PHONE (425) 251-0665 FAX (425) 251-0625
toumaengineering@gmail.com



NE 64th ST SHORT PLAT
10143 NE 64TH ST, KIRKLAND WA, 98033

DWN. BY DAN T	DATE DECEMBER 2015	JOB NO. 955-004-015
CHKD. BY MHT	SCALE 1" = 20'	SHEET 1 OF 1