

To:	Rick Beason	From:	Brett Shipton
Company:	CenterCal Properties, LLC	Date:	August 2, 2016
Address:	1600 East Franklin Avenue El Segundo, CA 90245		

cc:	Patrick Burns, CenterCal Properties, LLC (via email only) David Gildersleeve, CenterCal Properties, LLC (via email only)		
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GDI Project:	CenterCal-23-01
RE:	Totem Lake Mall

Original File Name	Date	Document Title
CenterCal-23-01-030215-geor	3/2/15	Report of Geotechnical Engineering Services; Totem Lake Mall; Kirkland, Washington

Addendum Number	Date	Description
1	11/13/15	Additional Explorations - Lower Mall
2	2/12/16	Additional Explorations - Lower Mall
3	4/26/16	Additional Explorations - Lower Mall
4	7/14/16	Additional Explorations - Lower Mall
4 (revised)	7/19/16	Additional Explorations - Lower Mall
5	8/1/16	Additional Explorations - Lower Mall
6	8/2/16	Peat Soil - Lower Mall (attached)

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Attachment

One copy submitted (via email only)

Document ID: CenterCal-23-01-080216-geoat-6.docx

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August 2, 2016

CenterCal Properties, LLC
1600 East Franklin Avenue
El Segundo, CA 90245

Attention: Rick Beason

Addendum 6
Peat Soil - Lower Mall
Totem Lake Mall
Kirkland, Washington
GeoDesign Project: CenterCal-23-01

Addendum 5 identified the potential for settlement as result of the decay of organic material and recommended that ground improvement be extended beneath the exterior wall footings and considered beneath the floor slabs. The amount of settlement at the ground surface is dependent on the depth and thickness of the peat soil. Figure 1 shows the depth at which peat was encountered as well as the thickness of the deposit in each boring. We have assigned levels of risk based on the location, depth, and thickness of the peat soil encountered in the borings. The following risk levels are shown on Figure 1:

- **Low Risk:** little to no risk of settlement in the next 20 years
- **Moderate Risk:** slightly elevated settlement in the next 20 years
- **High Risk:** ground surface settlement expected in the next 20 years



Please call if you have questions concerning this addendum or if we can provide additional services.

Sincerely,

GeoDesign, Inc.



Brett A. Shipton, P.E.
Principal Engineer



Signed 08/02/2016



Scott V. Mills, P.E.
Principal Engineer

cc: Patrick Burns, CenterCal Properties, LLC (via email only)
David Gildersleeve, CenterCal Properties, LLC (via email only)

BAS:kt

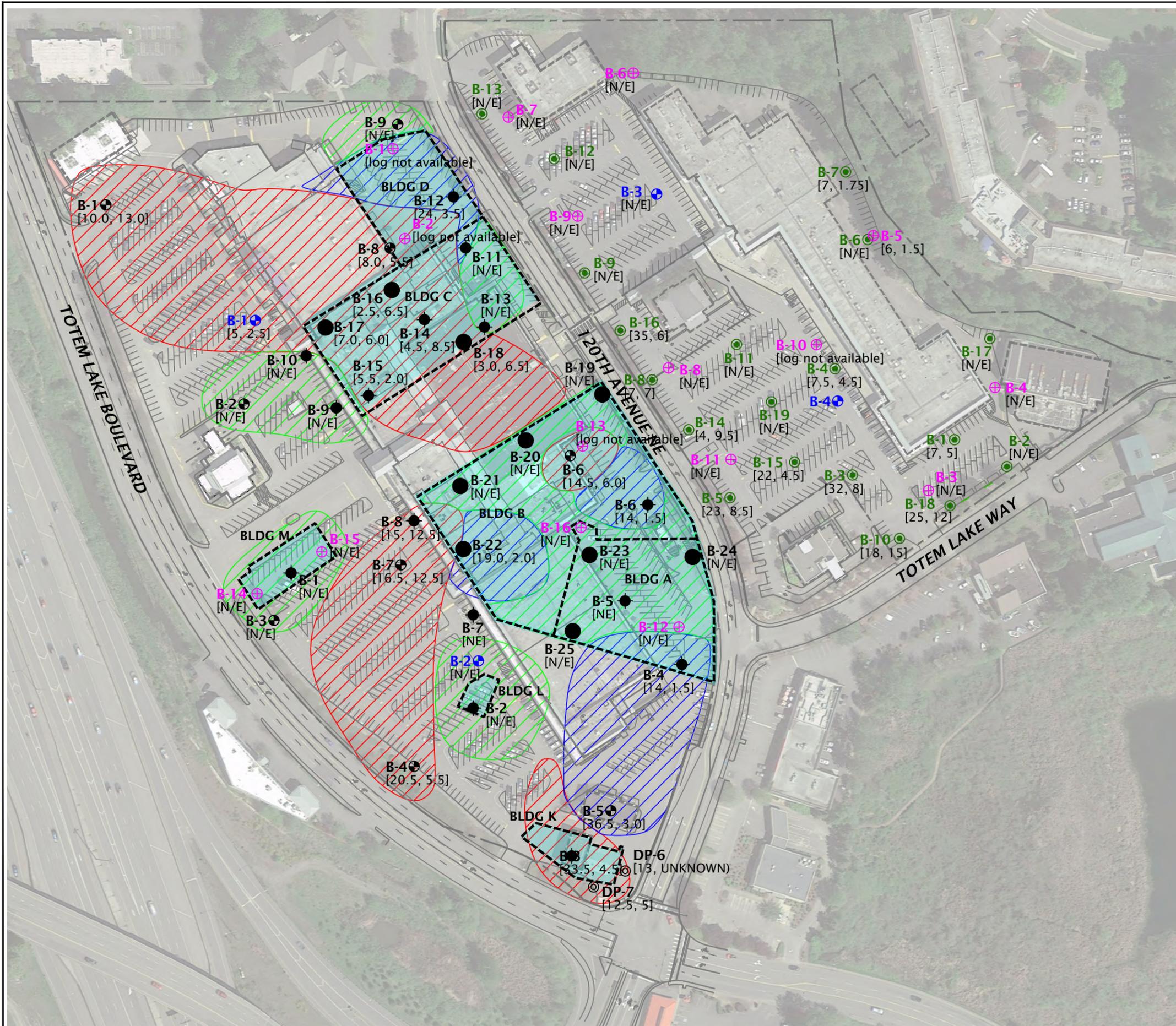
Attachment

One copy submitted (via email only)

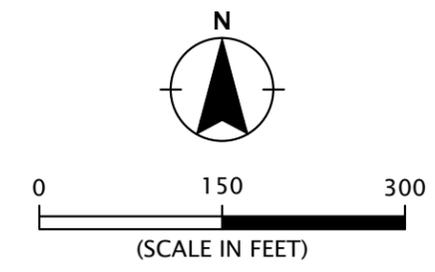
Document ID: CenterCal-23-01-080216-geoa-6.docx

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FIGURES



- LEGEND:**
- B-16 ● BORING (GEODESIGN, JULY 2016)
 - B-1 ● BORING (GEODESIGN, 2016)
 - B-1 ● BORING (GEODESIGN, 2015)
 - DP-6 ⊙ DIRECT-PUSH BORING (GEODESIGN, 2015)
 - B-1 ● BORING (GEODESIGN, 2014)
 - B-1 ● BORING (LANDAU ASSOCIATES, 2008)
 - B-1 ⊕ BORING (PSI, 2004)
 - [5, 2.5] PEAT AND WOOD ENCOUNTERED [DEPTH ENCOUNTERED, THICKNESS (FEET)]
 - [N/E] NOT ENCOUNTERED
 - APPROXIMATE BUILDING LOCATIONS (BUILDINGS A, B, C, D, K, L, AND M)
 - /// HIGH RISK FOR SETTLEMENT POTENTIAL
 - /// MODERATE RISK FOR SETTLEMENT POTENTIAL
 - /// LOW RISK FOR SETTLEMENT POTENTIAL



SITE PLAN BASED ON DRAWING PROVIDED BY CENTERCAL AND IMAGE OBTAINED FROM GOOGLE EARTH PRO®, DECEMBER 26, 2014

SITE PLAN	TOTEM LAKE MALL KIRKLAND, WA	FIGURE 1
CENTERCAL-23-01	AUGUST 2016	
15575 SW Sequoia Parkway - Suite 100 Portland OR 97224 Off 503.968.8787 Fax 503.968.3068		