

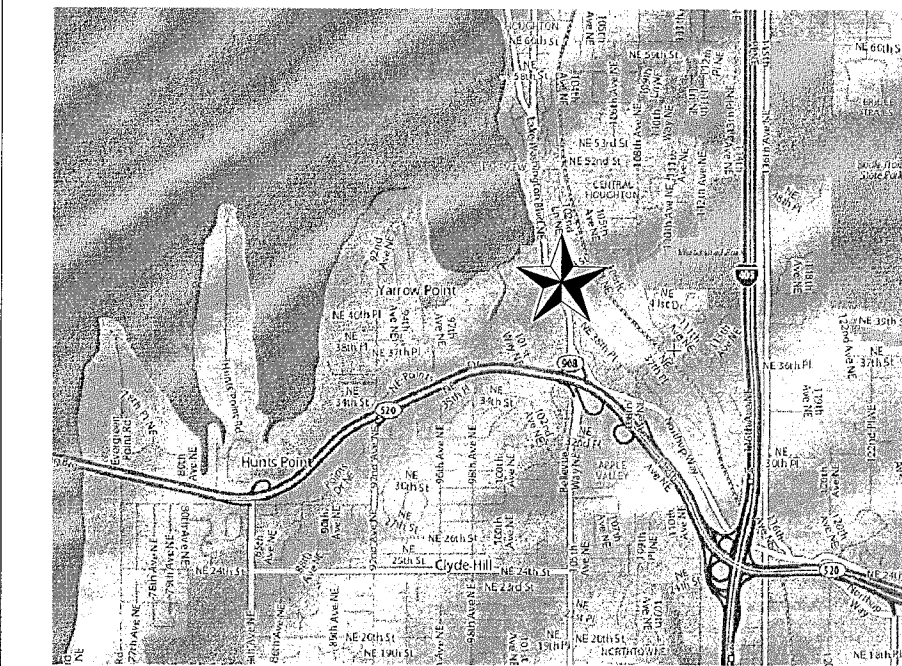
# STRATAGEN

## LEGACY CROWN POINTE

4040 LAKE WASHINGTON AVENUE, SUITE 201  
KIRKLAND, WASHINGTON 98033

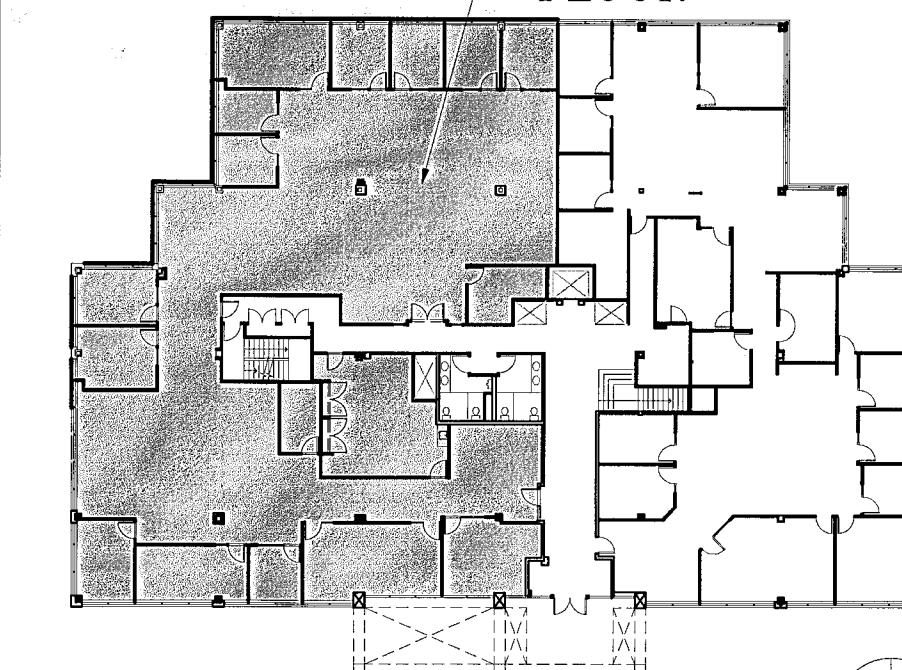


### VICINITY PLAN



### KEY PLAN

AREA OF  
WORK-2ND  
FLOOR



### DRAWING INDEX

#### ARCHITECTURAL

- A0.0 SITE PLAN/PROJECT DATA
- A1.1 OCCUPANCY/EXIT PLANS
- A1.2 GENERAL NOTES
- A2.1.D DEMOLITION PLAN
- A2.1 FLOOR PLAN & POWER/DATA PLAN
- A2.2 REFLECTED CEILING PLAN
- A6.1 DETAILS

### SCOPE OF WORK

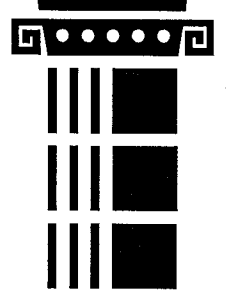
INTERIOR IMPROVEMENTS TO CONSOLIDATE TWO TENANT SUITES INTO ONE TENANT SUITE. MECHANICAL, ELECTRICAL AND PLUMBING WORK WILL BE THROUGH A SEPARATE PERMIT. FURNITURE SYSTEMS ARE SHOWN FOR REFERENCE BUT ARE NOT PART OF THE SCOPE OF WORK OF THESE DOCUMENTS.

### PROJECT DATA

INTERNATIONAL FIRE CODE: 2009 IFC  
INTERNATIONAL BUILDING CODE: 2009 IBC  
INTERNATIONAL MECHANICAL CODE: 2009 IMC  
UNIFORM PLUMBING CODE: 2009 UPC  
WASH. CITIES ELECTRICAL CODE: 2009 WCEC

USE: OFFICE  
OCCUPANCY TYPE: B  
CONSTRUCTION TYPE: V-A  
FIRE SUPPRESSION: NON-SPRINKLERED  
NUMBER OF STORIES: 3  
BUILDING AREA: 34,539 S.F.  
AREA OF WORK: 7,234 S.F.  
PROPERTY TAX NO: 1725059044  
ZONING: PR8.5 - PROFESSIONAL OFFICE/RESIDENTIAL  
YEAR CONSTRUCTED: 1987  
NO CHANGE IN OCCUPANCY FROM PREVIOUS USE.

SEPARATE PERMITS REQD



LEGACY PARTNERS  
CDS INC.  
Architecture and Interior Design  
4000 East Third Avenue, Suite 600  
Foster City, CA 94404-4805  
Tel: (650) 571-2200 / Fax: (650) 571-2282  
www.legacypartners.com/CDS

Approval:  
TENANTS APPROVAL: Construction Document

Tenant's approval of the Final Working Drawings is required in order to authorize construction to proceed with the construction of the improvements. The Final Working Drawings are based on the Final Space Plan approved by tenant.  
Any changes to the Final Working Drawings requested by tenant hereafter shall be considered a "Tenant Delay" and may be subject to an "Over Allowance Amount" (as such terms are defined in the First Lease). Tenant is responsible for ensuring that the Final Working Drawings are complete to fully meet the requirements of its intended use of the Premises.  
Reviewed & approved by tenant:

By: (Print Tenant Name as it appears on Lease)  
Title:  
Date:

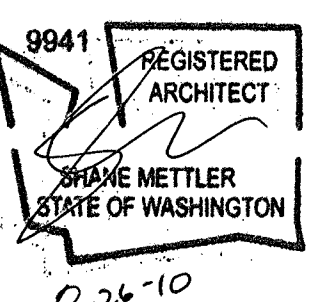
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No.	Issue or Revisions	Date
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STRATAGEN

SUITE 201  
LEGACY CROWN POINTE  
4040 LAKE WASHINGTON AVENUE  
KIRKLAND, WASHINGTON 98033

Project Title:



Date:	Drawn by:	Checked by:
08/26/10	SM	SM

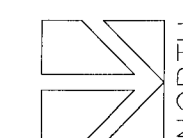
Drawing Title:  
COVER SHEET/SITE PLAN/  
PROJECT DATA

Scale:	Project No:
N.T.S.	DXT143

Drawing No:  
A0.0



① EXIT PLAN FROM SUITE ON 2ND. FLOOR  
TOTAL SUITE: 7,234 S.F.

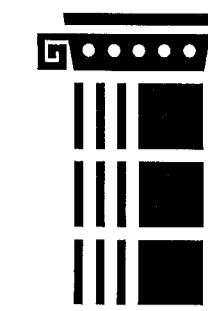


EXITING NOTES AND LEGEND:



SUITE EXIT SIGN LOCATION.

1. ALL FURNITURE PARTITIONS SHOWN SHALL HAVE A MAXIMUM HEIGHT OF 5'-9" AT THE AISLEWAYS.
2. 2A:10BC FIRE EXTINGUISHERS SHALL BE LOCATED THROUGHOUT THE SPACE, SUCH THAT THE MAXIMUM TRAVEL DISTANCE TO ANY EXTINGUISHER IS 75 FEET. IN ADDITION, EVERY 3,000 S.F. SHALL BE SERVED BY NOT LESS THAN ONE EXTINGUISHER.



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Approval

**TENANT'S APPROVAL:** Construction Document

Tenant's approval of the Final Working Drawings is required in order to authorize landlord to proceed with the construction of the Tenant Improvements. The Final Working Drawings are based on the Final Space Plan approved by Tenant.

Any changes to the Final Working Drawings requested by Tenant, hereafter shall be considered a "Tenant Delay" and may be subject to an "Over Allowance Amount" (as such terms are defined in the Final Lease). Tenant is responsible for ensuring that the Final Working Drawings are adequate to fully meet the requirements of its intended use of the Premises.

Reviewed & approved by tenant

(Print Tenant Name as it appears on Lease)

By: \_\_\_\_\_  
(print name)

Title:

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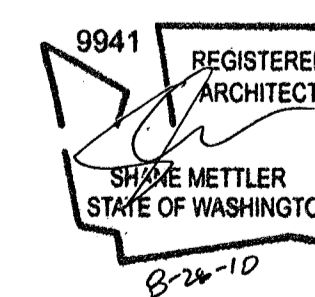
No.	Issue or Revisions	Date
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Project Title:

STRATAGEN

SUITE 201

SUITE 201  
LEGACY CROWN POINTE  
4040 LAKE WASHINGTON AVENUE  
KIRKLAND, WASHINGTON 98033



Date \_\_\_\_\_

08/26/10

Drawn by	
----------	--

SM

Checked by \_\_\_\_\_

SM

Drawing Title:

## EXITING PLAN

Scale

1/8"=1'-0" U.O.N.

Project No:

DXT143

Drawing No:

## A1.1

CEILING NOTES:	
1.	REFER TO REFLECTED CEILING PLAN AND ELECTRICAL DWGS. FOR THE TYPE & LOCATION OF LIGHT FIXTURES. SWITCHING AND CIRCUITING SHALL BE AS DESCRIBED ON ENGINEER'S ELECTRICAL DRAWINGS, AND INSTALLED AS DIRECTED THEREIN.
2.	ALL SWITCHING SHALL BE 4" A.F.F. TO CENTERLINE OF COVER PLATE. MULTIPLE SWITCHES SHOWN AT THE SAME LOCATION SHALL BE GANGED AND FINISHED WITH A ONE-PIECE COVER PLATE.
3.	PATCH AND REPAIR DAMAGED CEILING DUE TO DEMOLITION AND/OR NEW CONSTRUCTION.
4.	CLEAN ALL (E), REUSED & RELOCATED LIGHT FIXTURES INSIDE & OUT.
5.	CLEAN EXISTING CEILING T-BAR GRID, TILES.
6.	VERIFY THAT ALL EXISTING LIGHT FIXTURES, TUBES, BALLASTS, EXIT LIGHTS, BATTERY BACK-UPS, ETC. ARE OPERATIONAL. REPAIR/REPLACE AS REQUIRED.
7.	REPLACE DAMAGED, STAINED AND/OR MISSING CEILING TILES. MATCH EXISTING.
8.	RE-CIRCUIT LIGHTING TO ACCOMMODATE NEW LAYOUT.
9.	ALL EXISTING LIGHTING, I.E., WAREHOUSE, EXIT, BATTERY BACKUPS, ETC., SHALL BE CONNECTED TO TENANT'S PANEL & SHALL BE OPERABLE.
10.	MECHANICAL CONTRACTOR TO REMORK EXISTING HVAC AS REQUIRED TO ACCOMMODATE NEW LAYOUT.
11.	ALL ROOMS 100 S.F. OR GREATER & HAVE MORE THAN ONE LIGHT FIXTURE SHALL HAVE THE SWITCHING SPLIT (I.E. MINIMUM OF TWO SWITCHES) AND AN ADDITIONAL SWITCH SHALL BE REQUIRED FOR ROOMS EQUAL TO OR GREATER THAN 250 S.F. WITH VANCE LIGHTING FROM WINDOWS.
12.	ADJUST LIGHT FIXTURES TO ACHIEVE CONSISTENT HEIGHT AMONG LIGHT FIXTURES. LEVEL TO MATCH HEIGHT MAJORITY OF FIXTURES EXISTING AT PRESENT.
13.	REMOVE (E) SUSPENDED ACOUSTICAL CEILING & GYP. BD. CEILING, INCLUDING BUT NOT LIMITED TO GRID, TILES, BRACING, LIGHT FIXTURES, WIRES, PANELS & HVAC SUPPLY/RETURN GRILLES. SAVE SUSPENDED WIRES TO BE REUSED FOR NEW CONSTRUCTION ONLY IF IT COMPLES W/ CURRENT CODES. TIE & SAVE DUCTING TO ROOF ONLY IF IT CAN BE RE-USED FOR NEW CONSTRUCTION.
14.	CHECK ALL LIGHTS AND BALLASTS FOR WORKABILITY AND UNUSUAL NOISE LEVEL; REPAIR OR REPLACE WITH EITHER 'COOL WHITE' OR 'WARM WHITE' TUBES TO MATCH EXISTING.

GENERAL FINISH NOTES:	
1.	THE CONTRACTOR IS RESPONSIBLE TO WARRANTY THE FLOOR COVERING AND SHALL PROVIDE MAINTENANCE AND CLEANING INSTRUCTIONS TO PROPERTY MANAGER.
2.	INSTALL CARPET PER 'STANDARD FOR INSTALLATION OF COMMERCIAL TEXTILE FLOORING MATERIAL -CR104-1994' FOR DIRECT GLUE DOWN INSTALLATION.
3.	PROVIDE PAINT FINISHES ON ALL GYP. BOARD SURFACES, NEW OR EXISTING, INCLUDING BUT NOT LIMITED TO COLUMNS, PERIMETER WALLS, ETC.
4.	FOR NEW CONSTRUCTION, ALL PARTITIONS TO BE PAINT FINISHED ON SMOOTH SURFACE LEVEL 4.
5.	FLOOR AREAS TO BE PREPARED FOR SMOOTH FINISH PRIOR TO THE APPLICATION OF FINISHES.
6.	ALL FINISHES TO BE APPLIED IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS AND RECOMMENDATIONS FOR THE PARTICULAR SURFACE.
7.	PREPARE THREE 8"x11" ACTUAL SAMPLES OF ALL FINISHES. SUBMIT TO L.P.C. FOR REVIEW AND APPROVAL PRIOR TO APPLICATION.
8.	CENTER TRANSITIONS OF MATERIALS OCCURRING IN A SINGLE DOOR OPENING AT THE CENTER OF THE DOOR IN 'CLOSED' POSITION.
9.	SUBMIT SEAMING DIAGRAM TO L.P.C. FOR APPROVAL PRIOR TO CARPET INSTALLATION.
10.	USE RUBBER BASE AT ALL CARPETED AREAS, U.O.N. AND INTEGRAL COVE BASE AT SHEET VINYL.
11.	PROVIDE GRAY VINYL OR RUBBER TRANSITION STRIPS BETWEEN CARPET AND RESILIENT FLOORING.
12.	PROVIDE THRESHOLD BETWEEN STONE AND CARPET. FEATHER SLAB AS REQUIRED, IN CARPETED AREA TO HELP EASE TRANSITION OF TWO MATERIALS IN DOORWAYS AND INSERT.
13.	INSTALL SLUTTER STRIPS AT TILE TO CARPET TRANSITION AT INSET.
14.	DEVICE, COVER PLATES AND OUTLETS ARE TO BE WHITE COLOR (MATCH EXISTING).
15.	INSIDE OF ALL CABINETS TO BE WHITE COLOR MELAMINE (MATCH EXISTING).
16.	IF NECESSARY, UNDERCUT ALL DOORS 1" FOR THE PURPOSE OF CLEARANCE ONLY.

ABBREVIATIONS	
#	And
L	Angle
@	At
Centerline	Centerline
Diameter or Round	Diameter or Round
Found or Number	Found or Number
ACOUST.	Acoustical
A.D.	Area Drain
ADJ.	Adjustable
AF	Above Finish floor
AGGR.	Aggregate
AL.	Aluminum
APPROX.	Approximate
ARCH.	Architectural
ASB.	Asbestos
ASPH.	Asphalt
BD.	Board
BITUM.	Bituminous
BLDG.	Building
BLK.	Block
BLKG.	Blocking
BM.	Beam
BOT.	Bottom
CAB.	Cabinet
C.B.	Catch Basin
CER.	Cerment
CER.	Ceramic
C.I.	Cast Iron
C.G.	Corner Guard
C.L.G.	Ceiling
CLO.	Closet
CLR.	Clear
C.O.	Cased Opening
C.O.	Column
CONC.	Concrete
CONN.	Connection
CONSTR.	Construction
CONT.	Continuous
CORR.	Corridor
CTSK.	Countersunk
CNT.	Counter
CTR.	Center
DBL.	Double
DEPT.	Department
D.F.	Drinking Fountain
DET.	Detail
DIA.	Diameter
DIM.	Dimension
DISP.	Dispenser
DN.	Down
DR.	Door Opening
DR.	Door
DR.	Drawer
DR.	Downspout
D.S.P.	Dry Skidplate
DWG.	Drawing
(E)	Existing
E.	East
EA.	Each
E.J.	Expansion Joint
ELEV.	Elevation
ELEC.	Electrical
ELEV.	Elevator
EMER.	Emergency
ENCL.	Enclosure
E.P.	Electrical Panelboard
E.Q.	Equal
E.QPT.	Equipment
E.W.C.	Electric Water Cooler
EXST.	Existing
EXP.	Exposed
EXT.	Exterior
F.A.	Fire Alarm
F.B.	Flat Bar
F.D.	Floor Drain
F.N.	Foundation
F.E.	Fire Extinguisher
F.E.C.	Fire Extinguisher Cab.
F.H.C.	Fire Hose Cabinet
F.F.	Finish Floor
FIN.	Finish
FL.	Floor
FLASH.	Flashing
FLUOR.	Fluorescent
F.O.C.	Face of Concrete
F.O.F.	Face of Finish
F.O.S.	Face of Studs
F.P.R.	Fireproof
F.S.	Full Size
FT.	Foot or Feet
FTG.	Footing
FUR.	Furring
FUT.	Future
G.A.	Gauge
G.B.	Galvanized
G.L.	Grab Bar
GND.	Glass
GR.	Grade
GYP.	Gypsum
H.B.	Hose Bibb
H.C.	Hollow Core
HDWD.	Hardwood
HDWR.	Hardware
H.M.	Hollow Metal
HORIZ.	Horizontal
HR.	Hour
HGT.	Height
I.D.	Inside Diameter (Dim.)
INSUL.	Insulation
INT.	Interior
JAN.	Janitor
JT.	Joint
KIT.	Kitchen
LAB.	Laboratory
LAM.	Laminate
LAV.	Lavatory
LKR.	Locker
LT.	Light
MAX.	Maximum
MIN.	Minimum
MDF.	Medium Density Fiberboard
MECH.	Mechanical
MEMB.	Membrane
MFL.	Medal
MFR.	Manhole
MH.	Minimum
MIR.	Mirror
MISC.	Miscellaneous
M.O.	Masonry Opening
MTD.	Mount
MUL.	Mullion
(N)	New
N.	North
N.I.C.	Not In Contract
NO. or #	Number
NO.	Not
N.T.S.	Not To Scale
(N)	New
N.	North
N.I.C.	Not In Contract
NO. or #	Number
NO.	Not
N.T.S.	Not To Scale
O.A.	Overall
Obs.	Obscure
O.C.	On Center
O.D.	Outside Diameter (Dim.)
OFF.	Office
OPNG.	Opening
Opposite	Opposite
PRCST.	Pre-cast
PL.	Plate
P.LAM.	Plastic Laminate
PLAS.	Plaster
PLYWD.	Plywood
PR.	Pair
P.T.D.	Paper Towel Dispenser
P.T.D./R	Combination Paper Towel Dispenser & Receptacle
PTN.	Receptacle
P.T.R.	Paper Towel Receptacle
Q.T.	Quarry Tile
R.	Riser
RAD.	Radius
RCP	Reflected Ceiling Plan
R.D.	Roof Drain
REF.	Reference
REFR.	Refrigerator
RGTR.	Register
REIN.	Reinforced
REQ.	Required
RESIL.	Resilient
RM.	Room
R.O.	Rough Opening
RND.	Round
R.W.L.	Rain Water Leader
S.	South
S.C.	Solid Core
S.C.D.	Seat Cover Dispenser
SCHED.	Schedule
SCHED'D.	Scheduled
S.D.	Section
SECT.	Section
SH.	Shelf
SHR.	Shower
SHIT.	Sheet
SIM.	Similar
S.N.D.	Sanitary Napkin Dispenser
S.N.R.	Sanitary Napkin Receptacle
SPEC.	Specification
SQ.	Square
S.S.T.	Stainless Steel
S.SK.	Service Sink
STA.	Station
STD.	Standard
STL.	Steel
STOR.	Storage
STR.	Structure
STR.	Structural
SUSP.	Suspended
SYM.	Symmetrical
T.G.	Tempered Glass
T.S.	Transmission Strip
T.B.	Towel Bar
T.C.	Top of Curb
TEL.	Telephone
TER.	Terrazzo
THK.	Thick
T&G	Tongue and Groove
T.P.	Top of Pavement
T.P.D.	Toilet Paper Dispenser
T.V.	Television
T.W.	Top of Wall
TYP.	Typical
UNF.	Unfinished
U.O.N.	Unless Otherwise Noted
UR.	Urinal
V.I.F.	Verify in Field
VERT.	Vertical
VEST.	Vestibule
W.	West
W/	With
W.C.	Water Closet
WD.	Wood
W/O	Without
WP.	Waterproof
WSCT.	Weight
WT.	Weight

DOOR NOTES	
1.	DOOR UNDERCUT @ TYPICAL DOORS SHALL BE 1/4" CLEAR IN SWING DIRECTION OF FLOOR MATERIAL THICKNESS. (UNLESS NOTED OTHERWISE)
2.	ALL (E) & NEW EXTERIOR DOORS SHALL HAVE A THRESHOLD NO HIGHER THAN 1/2".
3.	ALL DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
4.	LEVER HARDWARE SHALL MEET ALL ADA REQUIREMENTS.
5.	ALL NON-RATED DOORS SHALL HAVE PERIMETER GASKETING.
6.	ALL FIRE RATED DOORS SHALL HAVE S-LABEL, FIRE / SPOKE GASKETING, AND CLOSERS.

CONSTRUCTION NOTES:	
1.	FIELD CONDITIONS IN DISCREPANCY WITH THESE DRAWINGS ARE TO BE BROUGHT TO THE ATTENTION OF LPC NC INC. BEFORE PROCEEDING.
2.	PROVIDE PORTABLE FIRE EXTINGUISHERS 2A10 BC WITH TRAVEL DISTANCE NOT TO EXCEED 75'-0", SURFACE MOUNTED U.O.N. RELOCATE/REUSE (E) EXTINGUISHERS WHERE AVAILABLE.
3.	ALL EXISTING SURFACES DAMAGED OR DISTURBED BY ALTERATIONS SHALL BE PATCHED, PAINTED, REPAIRED OR REPLACED (UNLESS OTHERWISE NOTED). REPAINT TO NEAREST NATURAL BREAK.
4.	REWORK EXISTING HVAC, INCLUDING RELOCATING THERMOSTATS, TO ACCOMMODATE NEW LAYOUT.
5.	REWORK EXISTING SPRINKLERS TO ACCOMMODATE NEW LAYOUT.
6.	CONTRACTOR TO DO A FINAL CLEANUP OF SPACE INCLUDING REST ROOMS.
7.	DIMENSIONS SHOWN ARE FROM FACE OF FINISH UNLESS SHOWN OTHERWISE.
8.	DO NOT SCALE PLANS. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
9.	RE-SWITCH LIGHTING AND POWER TO ACCOMMODATE NEW PARTITION LAYOUT.
10.	PROVIDE INDIVIDUAL SUPPLY AND RETURN AIR DIFFUSERS IN EACH ENCLOSED SPACE. UNDERCUTTING OF DOORS OR USE OF GRILLS IN DOORS IS NOT ACCEPTABLE FOR RETURN AIR.
11.	GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING SUBCONTRACTORS' BIDS. ALL SUBCONTRACTORS MUST COVER ALL AREAS OF DESIGN TO CONFORM WITH ACTUAL CONSTRUCTION. ANY DISCREPANCIES NOTICED SHALL BE BROUGHT UP TO THE DESIGNER'S ATTENTION PRIOR TO THE BID DATE OR THE BIDS MUST HAVE A WRITTEN STATEMENT ON ALL DISCREPANCIES NOTICED DURING THE BID PROCESS.
12.	NOTIFY LP PLANNING, IN WRITING UPON THE DISCOVERY OF ANY AND ALL UNFORESEEN CONDITIONS WHICH MAY BECOME A DESIGN, COST AND/OR SCHEDULE ISSUE IMMEDIATELY.
13.	FINISH ON ALL NEW WALLS TO MATCH EXISTING, UNLESS OTHERWISE NOTED.
14.	STUD SPECIFICATIONS PER ICC-ES, ER-4949P.
15.	FIRE RATED WALLS SHALL BE UL-APPROVED ASSEMBLY: 1-HOUR = UL DES U465 OR U448 2-HOUR = UL DES U481, U412, OR U411
16.	THOROUGHLY CLEAN WALLS, FLOORS, METAL PARTITIONS AND FIXTURES AT ALL REST ROOMS
17.	SAVE DOORS APPROPRIATE FOR RE-USE WITHIN SPACE.
18.	ALL COVER PLATES, INCLUDING BUT NOT LIMITED TO SWITCHES, OUTLETS OR FIRE/SAFETY DEVICES SHALL BE WHITE COLOR. REPLACE AS NECESSARY.
19.	REMOVE ALL BULLETIN BOARDS, SUPPORT BOARDS FOR REMOVED ITEMS, UNNECESSARY SIGNS ETC; PATCH AND REPAIR ANY WALL DAMAGE.
20.	REPAIR OR REPLACE NON-FUNCTIONING LIGHT FIXTURES.
21.	COORDINATE TIMING OF NOISY OPERATIONS W/ THE OWNER & GAIN APPROVAL FOR SUCH OPERATIONS PRIOR TO START OF CONSTRUCTION.
22.	REMOVE MATERIALS, RUBBISH & DEBRIS FROM THE SITE PROMPTLY. NO ACCUMULATION ON THE SITE WILL BE PERMITTED.
23.	REMOVE (E) WALLS AS SHOWN TO BE DEMOLISHED, INCLUDING BUT NOT LIMITED TO ELECTRICAL OUTLETS, WIRING, ATTACHMENTS & BRACING (TYPICAL).
24.	REMOVE ALL (E) FLOOR COVERINGS & BASE WHERE NOTED.
25.	REPLACE DOOR KNOBS AND BROKEN LEVERS WITH LEVER LATCH SETS TO MATCH EXISTING.
26.	CLEAN HVAC GRILLES THROUGHOUT SPACE, REPAINT AS REQUIRED.
27.	REPLACE DAMAGED, STAINED, AND/OR MISSING CEILING TILES AS REQUIRED. MATCH EXISTING.
28.	CLEAN ALL MINI-BLINDS AT GLAZING; REPAIR/REPLACE AS REQUIRED.

DEMOLITION NOTES:	
1.	CAREFULLY REMOVE ITEMS TO BE SALVAGED & STORE ON THE OWNER'S PREMISES OR AS DIRECTED BY THE OWNER.
2.	PROVIDE FOR SAFE PASSAGE OF PERSONS AROUND THE AREA OF DEMOLITION.
3.	COORDINATE THE TIMING OF NOISY OPERATIONS W/ THE OWNER & GAIN APPROVAL FOR SUCH OPERATIONS.
4.	RESTORE DAMAGED IMPROVEMENTS TO THE ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER, AT NO EXTRA COST.
5.	PROVIDE TEMPORARY SHORING OF EXISTING CONSTRUCTION TO REMAIN, AS REQUIRED.
6.	NOTIFY LPC PLANNING, IN WRITING, UPON THE DISCOVERY OF ANY & ALL UNFORESEEN CONDITIONS WHICH MAY BECOME A DESIGN, COST/OR SCHEDULE ISSUE IMMEDIATELY.
7.	REMOVE MATERIALS, RUBBISH & DEBRIS FROM THE SITE PROMPTLY. NO ACCUMULATION ON THE SITE WILL BE PERMITTED.
8.	REMOVE (E) PARTITIONS AS SHOWN TO BE DEMOLISHED, INCLUDING BUT NOT LIMITED TO ELECTRICAL OUTLETS, WIRING, ATTACHMENTS & BRACING (TYPICAL).
9.	FIRE EXTINGUISHERS ON REMOVED WALLS SHALL BE RELOCATED.
10.	REMOVE EXISTING DOORS AS SHOWN ON PLAN SAVE FOR REUSE ONLY IF IN PERFECT CONDITION.
11.	REMOVE ALL (E) FLOOR COVERINGS & BASE WHERE NOTED.
12.	SAVE CARPET IF POSSIBLE FOR REUSE WHERE REQUIRED FOR PATCHING.
13.	THERMOSTATS ON REMOVED WALLS SHALL BE RELOCATED.
13.	(E) FIRE/LIFE SAFETY SYSTEM MUST BE MAINTAINED. RELOCATE DEVICES AS REQUIRED.

GENERAL REQUIREMENTS	
<b>TENANT INTERIOR IMPROVEMENT PROJECT</b>	
1.	THE FOLLOWING CONTRACTORS SHALL PROVIDE SHOP DRAWINGS, MATERIALS SPECIFICATIONS, AND SCHEDULES, WITH REQUIRED CALIFORNIA REGISTERED ENGINEER'S SIGNATURES TO THE APPROPRIATE CITY DEPARTMENT(S) FOR PLAN CHECK REVIEW PRIOR TO THE COMMENCEMENT OF WORK: FIRE-PROTECTION SUBCONTRACTOR - THE GENERAL CONTRACTOR SHALL PROVIDE LEGACY PARTNERS CDS, INC., CONSTRUCTION DEPT. AND/OR DESIGN DEPARTMENT WITH SHOP DRAWINGS, MATERIAL SCHEDULES, AND SPECIFICATIONS OF MATERIALS AND EQUIPMENT, AND WORKMANSHIP QUALITY FOR HIS WORK, AND HIS SUBCONTRACTOR'S WORK PRIOR TO THE COMMENCEMENT OF WORK. THE LEGACY PARTNERS CDS, INC., RESERVES THE RIGHT TO APPROVE OR REJECT SUBMITTALS FOR PROPOSED CONSTRUCTION.
2.	THE FOLLOWING CONTRACTORS ARE TO SUBMIT AS-BUILT DOCUMENTS WITH CERTIFICATION THAT WORK CONFORMS TO DRAWINGS AND SPECIFICATIONS: ELECTRICAL, MECHANICAL, PLUMBING SUBCONTRACTORS.
3.	CONTRACTORS CONTRACTING DIRECTLY WITH LP CDS, INC., FOR SPECIFIED SCOPE OF WORK, SHALL ALSO SUBMIT SHOP DRAWINGS, MATERIAL AND EQUIPMENT SCHEDULES AND SPECIFICATIONS; AS APPLICABLE, FOR REVIEW AND APPROVAL BY LP CDS, INC.
4.	CONTRACTUAL AGREEMENT - BY CONTRACTING WITH LP CDS, INC., THE CONTRACTOR(S) PERFORMING WORK DESCRIBED BY THESE DRAWINGS AGREES TO SUBORDINATE OTHER CONTRACTUAL OBLIGATIONS PERTAINING TO THIS WORK, TO THE REQUIREMENTS OF THESE GENERAL REQUIREMENTS, AND THE SPECIFICATIONS AND REQUIREMENTS OF THESE DRAWINGS.
5.	LEGACY PARTNERS, CONSTRUCTION DESIGN SERVICES INCORPORATED SHALL BE ABBREVIATED: LP CDS, INC.
6.	THE CONTRACTOR(S) SHALL PURCHASE AND MAINTAIN CERTIFICATES OF INSURANCE WITH RESPECT TO WORKMAN'S COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
7.	CONTRACT BID: THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, THE CONTRACTOR SHALL NOTIFY LP CDS, INC., DESIGN & PLANNING DEPARTMENT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS.
8.	THE CONTRACTOR IS RESPONSIBLE FOR PAYMENT AND OBTAINING OF ALL PERMITS REQUIRED FOR A COMPLETE JOB.
9.	DURING THE BIDDING AND NEGOTIATION PERIOD THE CONTRACTOR SHALL CONFIRM IN WRITING APPROXIMATE ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND SHALL NOTIFY LP CDS, INC., IN WRITING OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.
10.	UPON AWARD OF THE CONTRACT, THE CONTRACTOR SHALL ALSO SUBMIT A SPECIFIC CONSTRUCTION SCHEDULE TO LP CDS, INC., INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL CONTRACTORS WORK.
11.	SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE PRIOR WRITTEN APPROVAL BY LP CDS, INC.
12.	CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH CURRENT U.B.C. CODE AND ALL APPLICABLE ORDINANCES INCLUDING CITY AND LOCAL BUILDING CODES AND REQUIREMENTS.
13.	NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR DESIGNER'S FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING TO THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSIDERED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
14.	CONTRACTOR SHALL REVIEW AND APPROVE SUBMITTALS FROM SUBCONTRACTORS BEFORE SUBMITTING THEM TO LP CDS, INC.
<b>PLUMBING NOTES</b>	
NOTES:	
WATER CLOSET AND ASSOCIATED FLUSHMETER VALVES ALLOWED MAXIMUM USE OF 1.6 GALLONS PER FLUSH SHALL MEET PERFORMANCE STANDARDS ESTABLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE STANDARD A112.19.2 HPS CODE, SECTION 17921.3(B).	
1.	PLUMBING WORK SHALL INCLUDE WASTE LINES, VENT LINES, CONDENSATE LINES AND WATER LINES, CONCRETE SAWING AND PATCHING FOR THESE ITEMS.
2.	PLUMBING FIXTURES SHALL INCLUDE ITEMS NOTED IN PLUMBING FIXTURES AND ACCESSORIES SCHEDULES AS STANDARD ITEMS, UNLESS NOTED OTHERWISE, OR MARKED, N.I.C. IN REMARKS COLUMN.
3.	WHITE PORCELAIN FIXTURES AND BRUSHED STAINLESS STEEL ACCESSORIES SHALL BE STANDARD UNLESS NOTED OTHERWISE IN REMARKS COLUMN OF PLUMBING SCHEDULES.
4.	FAUCETS TO BE 2.2 G.P.M. MAX.
5.	SANITARY SYSTEM MATERIAL TO BE NO-HUB CAST IRON PIPE & FITTINGS CONFORMING TO CISPI 301 STANDARDS, WITH SS & NEOPRENE COUPLINGS CONFORMING TO CISPI 310 STANDARDS, OPTION FOR 3" & SMALLER, ABOVE GRADE: TYPE DWV COPPER TUBE CONFORMING TO ASTM B-88 SPECIFICATIONS, WITH WROUGHT COPPER DRAINAGE PATTERN SOLDER JOINT FITTINGS CONFORMING TO ANSI B-16.22 STANDARDS, WITH SILVABRITE-100 SOLDER CONNECTIONS.
6.	WATER PIPING MATERIAL: TYPE "L" HARD-DRAWN COPPER WATER TUBE AND WROUGHT SODER TUBE FITTING.
7.	ALL PIPING AND DUCTWORK SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF CMC SECTION 508.3 AND TABLES 6-6A AND 6-6B.
<b>LEGEND:</b>	
	GRID LINE NUMBER OR LETTER
	DETAIL NUMBER LAYOUT WHERE DETAIL LOCATED DRAWN. SAME DISCIPLINE U.O.N.
	SECTION NUMBER LAYOUT WHERE DETAIL LOCATED DRAWN. SAME DISCIPLINE U.O.N.
	INTERIOR ELEVATION NUMBER LAYOUT WHERE ELEVATION LOCATED DRAWN. SAME DISCIPLINE U.O.N.
	DOOR MARK (NEW) SEE DOOR TYPES ON SHEET A6.1
	DOOR MARK (EXISTING)
	WINDOW SYMBOL SEE WINDOW TYPES ON SHEET A6.1
	START POINT DATUM POINT

GENERAL CONSTRUCTION NOTES	
1.	PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, DISCREPANCIES BETWEEN THE INTERIOR IMPROVEMENT DRAWINGS, ENGINEERING DRAWINGS, AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO LP CDS, INC.
2.	CONTRACTOR SHALL PATCH AND REPAIR ALL FIREPROOFING DAMAGED OR REVEALED BY DEMOLITION. CONTRACTOR SHALL FIREPROOF AS REQUIRED BY CODE ALL NEW PENETRATIONS GENERATED BY THE WORK DESCRIBED IN THESE DOCUMENTS.
3.	THE CONTRACTOR SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF ELECTRICAL/TELEPHONE PANELS, OUTLETS & LIGHT SWITCHES WITH LP CDS, INC., IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION. DIMENSIONS SHOWN ON LP CDS INC. PLANS SHALL GOVERN ALL LOCATIONS.
4.	THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK AND CONDUT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED.
5.	PROVIDE INTERNALLY ILLUMINATED EXIT SIGNS.
6.	PROVIDE LIGHTING AND VENTILATION AS REQUIRED BY I.B.C.
7.	'TYPICAL' MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS, U.O.N.
8.	'SIMILAR' MEANS COMPARABLE CHARACTERISTICS. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
9.	DIMENSIONS NOTED 'CLEAR' OR 'CLR.' ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCE MUST BE ACCURATELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT REVIEW OF LP CDS, INC., UNLESS NOTED AS (+)
10.	DIMENSIONS TO THE EXTERIOR WINDOW WALL ARE TO BE MEASURED TO THE INSIDE FACE OF MULLION.
11.	DIMENSIONED HEIGHTS ARE FROM TOP OF EXISTING SLAB, U.O.N. AS 'A.F.F.', ABOVE FINISH FLOOR.
12.	MILLWORK IS TO BE FURNISHED AND INSTALLED BY CONTRACTOR.
13.	THE CONTRACTOR SHALL PROVIDE FIRE RETARDANT TREATED WOOD BLOCKING AS REQUIRED BY THE CONTRACT DOCUMENTS IN WALLS BEHIND SHELVING, ETC. ALL BLOCKING AND FURNISH SHALL BE FIRE TREATED AS REQUIRED BY BUILDING CODE.
14.	ALL INTERIOR PARTITIONS SHALL MEET THE STRUCTURAL REQUIREMENTS OF I.B.C.
15.	ELECTRICAL COMPONENTS, EQUIPMENT AND SYSTEMS SHALL BE DESIGNATED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE NATIONAL ELECTRICAL CODE.
16.	SUSPENDED ACOUSTICAL CEILING SYSTEM SHALL BE IN ACCORDANCE WITH I.B.C. TABLE 803.9.
17.	ALL INTERIOR FINISHES SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN I.B.C. TABLE 803.5.
18.	THE CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL MATERIALS, LABOR, INSTALLATION, FABRICATION, ETC. SHALL CONFORM TO ALL CODES AND REGULATIONS OF APPLICABLE GOVERNING AGENCIES.
19.	THE CONTRACTOR SHALL PRESERVE AND MAINTAIN ACCESS TO EXISTING EXITS DURING CONSTRUCTION.
20.	THE CONTRACTOR SHALL COORDINATE THE LAYOUT OF PARTITIONS WITH LP CDS, INC. PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCY BETWEEN ACTUAL FIELD CONDITION AND DRAWINGS MUST BE WORKED OUT IN THE FIELD TO THE SATISFACTION OF LP CDS, INC., AT NO EXTRA COST. THIS MUST BE CONSIDERED BY THE CONTRACTOR DURING BID PROCESS AND INCLUDED IN THEIR BIDS.
21.	ALL DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME RETARDANT CONDITION. ARTICLE 103.3.3 & ARTICLE 2501.6.
22.	THE CONSTRUCTION, REMODEL, OR DEMOLITION OF A BUILDING SHALL COMPLY WITH IFC ARTICLE 87.
23.	CONTRACTOR TO DO A FINAL CLEANUP OF SPACE.
24.	ELECTRICAL, MECHANICAL, SPRINKLER DRAWINGS WITH REQUIRED CALCULATIONS SHALL BE SUBMITTED TO LPC PLANNING DEPT. PRIOR TO SUBMITTAL FOR PERMIT.
25.	GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING SUBCONTRACTORS' BIDS. ALL SUBCONTRACTORS MUST COVER ALL AREAS OF DESIGN TO CONFORM TO ACTUAL CONSTRUCTION. ANY DISCREPANCIES NOTICED SHALL BE BROUGHT UP TO THE DESIGNER'S ATTENTION PRIOR TO THE BID DATE OR THE BIDS MUST HAVE A WRITTEN STATEMENT ON ALL DISCREPANCIES NOTICED DURING THE BID PROCESS.
26.	ALL EXISTING SURFACES DAMAGED OR DISTURBED BY ALTERATIONS SHALL BE PATCHED, PAINTED, REPAIRED OR REPLACED (UNLESS OTHERWISE NOTED). REPAINT TO NEAREST NATURAL BREAK.
27.	PROVIDE INDIVIDUAL SUPPLY AND RETURN AIR DIFFUSERS IN EACH ENCLOSED SPACE. UNDERCUTTING OF DOORS OR USE OF GRILLS IN DOORS IS NOT ACCEPTABLE FOR RETURN AIR.
28.	GENERAL CONTRACTOR MUST PROVIDE ALL SUBMITTAL & TECHNICAL DATA WITHIN FIRST 2 WEEKS OF STARTING THE CONSTRUCTION.
29.	PREPARE FLOORS AS REQUIRED FOR NEW FLOOR COVERINGS THROUGHOUT ENTIRE SPACE. CONTRACTOR IS RESPONSIBLE TO WARRANTY THE FLOOR COVERING & SHALL PROVIDE WATERPROOFING OR MOISTURE PROTECTION PRIOR TO INSTALLATION OF ANY FLOOR COVERING IF REQUIRED BY HIS MOISTURE CONTENT TEST.
30.	SEPARATE PLANS FOR ALL FIXED AND MOBILE FIRE PROTECTION EQUIPMENT AND FIRE ALARM SYSTEMS SHALL BE SUBMITTED TO THE FIRE MARSHAL FOR APPROVAL PRIOR TO INSTALLATION.
31.	BUILDING OCCUPANT SHALL SECURE PERMITS AS REQUIRED, BY THE FIRE PREVENTION BUREAU PRIOR TO OCCUPANCY THIS BUILDING.
32.	DUCTING FROM UNIT AT ROOF TO SUSPENDED CEILING SHALL BE GALVANIZED, RECTANGULAR RIGID DUCT RUN VERTICALLY. DISTRIBUTION OF HORIZONTAL DUCTING SHALL BE MADE AT CEILING.
33.	DO NOT HANG OR ATTACH ANYTHING TO EXISTING 2X4 STIFFENERS AT ROOF.

NOTE:  
WHEN BUILDING STANDARD ITEMS CALLED FOR IN THESE DOCUMENTS, CONTRACTOR SHALL ALWAYS VERIFY SAID BUILDING STANDARDS AND ASCERTAIN THEIR TRUENESS W/ THE PROPERTY MANAGER BEFORE INSTALLATION.

**LEGACY PARTNERS CDS INC.**  
Architecture and Interior Design  
4000 East Third Avenue, Suite 600  
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www.legacypartners.com/CDS

Approved:  
**TENANT'S APPROVAL: Construction Document**  
Tenant's approval of the Final Working Drawings is required in order to authorize construction. The Final Working Drawings are based on the First Space Plan approved by Tenant.  
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Reviewed & approved by Tenant:  
(Print Tenant Name as it appears on Lease)  
By: \_\_\_\_\_  
(Print name)  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

THESE DRAWINGS AND SPECIFICATIONS

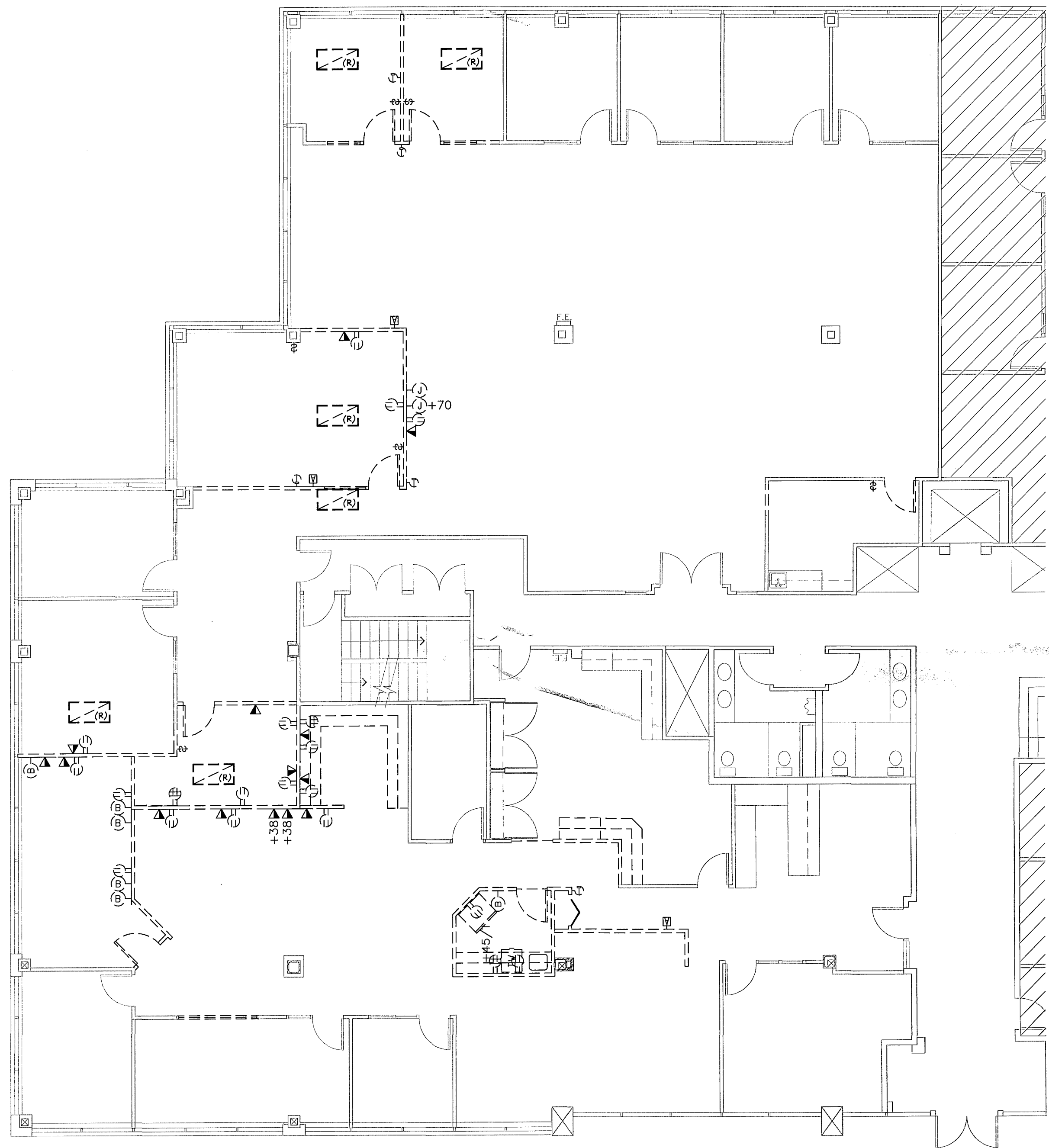
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GENERAL NOTES:

- 1 REMOVE ALL FLOORING & BASE, TYPICAL THROUGHOUT.
- 2 SALVAGE ALL DOORS, HARDWARE AND FRAMES INDICATED AS DEMO'D.
- 3 SALVAGE ALL SIDELITE GLASS AND FRAMES INDICATED AS DEMO'D.
- 4 REMOVE AND SALVAGE ALL DOOR HARDWARE FROM DOORS TO REMAIN IN SUITE 201.
- 4 REMOVE ALL SWITCH/OUTLET/DATA COVER PLATES IN SUITE 201 FOR NEW PLATES TO MATCH SUITE 208.

LEGEND:

- EXISTING PARTITION - TO BE REMOVED PATCH CEILING AND ADJACENT PARTITIONS AS NECESSARY.
- EXISTING PARTITION TO REMAIN
- EXISTING 2'X4' FLUORESCENT FIXTURE.  
(R) = RELOCATED

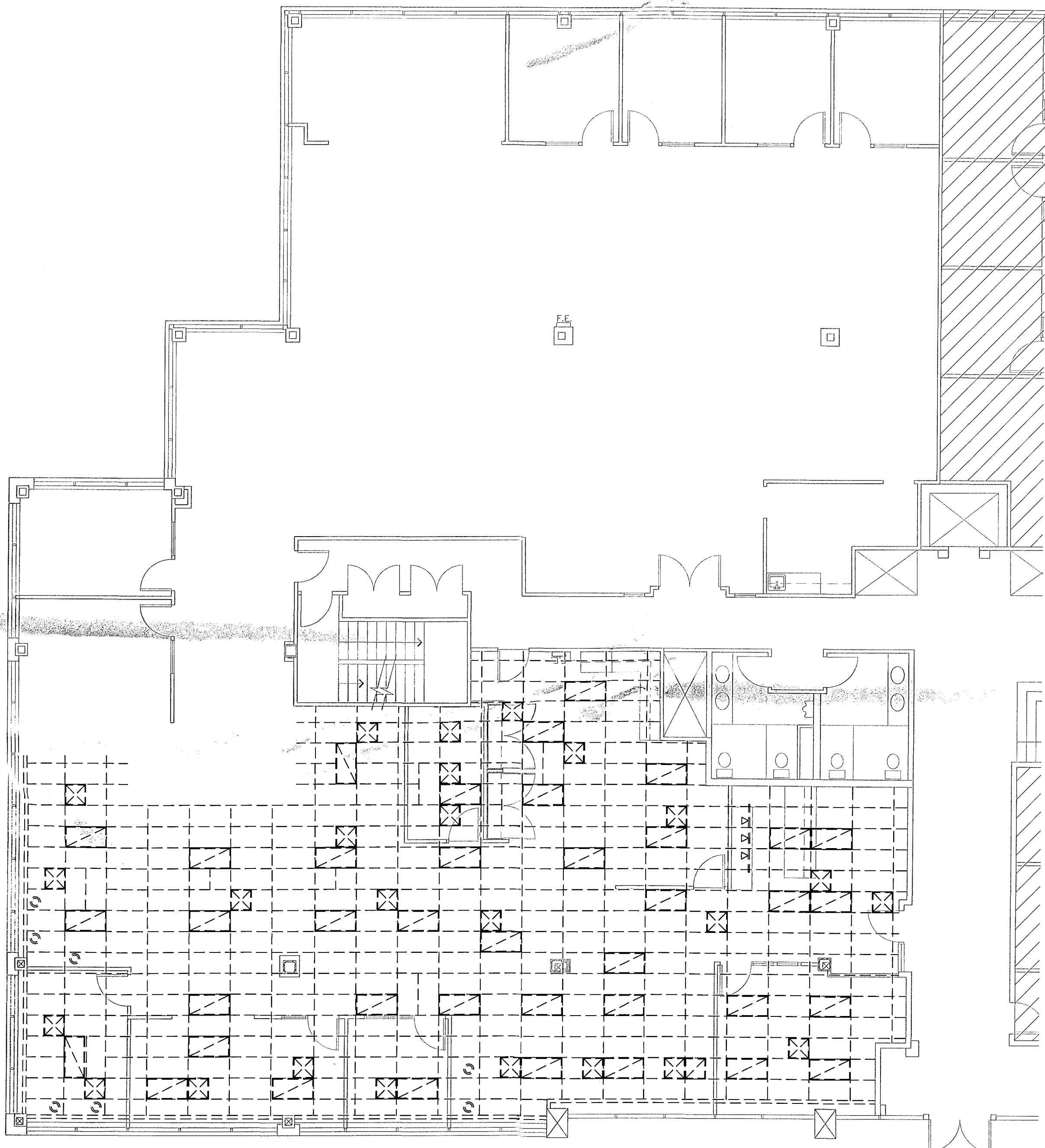


1 DEMOLITION PLAN

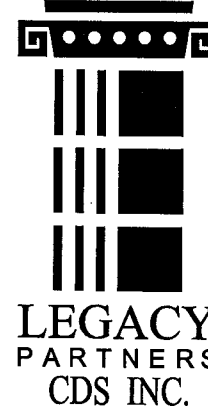


GENERAL NOTES CEILING DEMOLITION:

- 1 REMOVE ALL LIGHTS AND CEILING FIXTURES IN SUITE 201.
- 2 LEAVE EXISTING GRID INTACT. REMOVE CEILING TILES THROUGHOUT SUITE 201.
- 2 REMOVE ALL MECHANICAL DIFFUSERS AND RETURN AIR GRILLES THROUGHOUT SUITE 201.



2 CEILING DEMOLITION PLAN



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Reviewed & approved by Tenant

(Print Tenant Name as it appears on Lease)

By: (Print name)

Title:

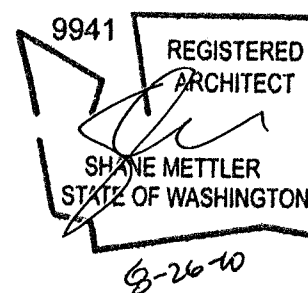
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No.	Issue or Revisions	Date
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Project Title:  
**STRATAGEN**

SUITE 201  
LEGACY CROWN POINTE  
4040 LAKE WASHINGTON AVENUE  
KIRKLAND, WASHINGTON 98033



Date: 08/26/10	Drawn by: SM	Checked by: SM
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Drawing Title:

DEMOLITION PLAN

Scale: 1/8"=1'-0" U.O.N.	Project No: DXT143
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Drawing No:

**A2.1D**

EXISTING PARTITION TO REMAIN

NEW PARTITION CONSTRUCTION

INTERIOR PARTITION - 3-5/8" (20 GA. MTL. STUDS @ 24" O.C. EACH SIDE TO UNDERSIDE OF SEE DETAIL 3/A.1)

ALIGN SURFACES AS INDICATED

1.	CARPET: TBD	
	PATTERN: TBD	
PAINT: KELLY MOORE		
	TBD	FINISH: TBD
	TBD	FINISH: TBD
2.	ACCENT PAINT COLOR: TBD	
3.	RESILIENT BASE: JOHNSONITE TIGHT-LOCK	
	4" HIGH RUBBER BASE	TBD
4.	VCT: ARMSTRONG	
	EXCELON STONETEX 12"x12"	TBD
	EXCELON STONETEX 12"x12"	TBD
5.	PLASTIC LAMINATE: FORMICA	
	BASE CABINETS &	
	VERTICAL SURFACES	TBD
	HORIZONTAL	
	SURFACES	TBD

9'-0"

3'-0"

2'-0"

U.O.N.

OR MATCH EXISTING.

INTERIOR DOOR WITH SIDE LIGHT

9'-0" H. WITH 1/4" TEMPERED GLAZING. MATCH EXISTING FRAME.

9'-0"

3'-0"

OR MATCH EXISTING.

INTERIOR DOOR

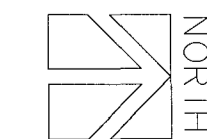
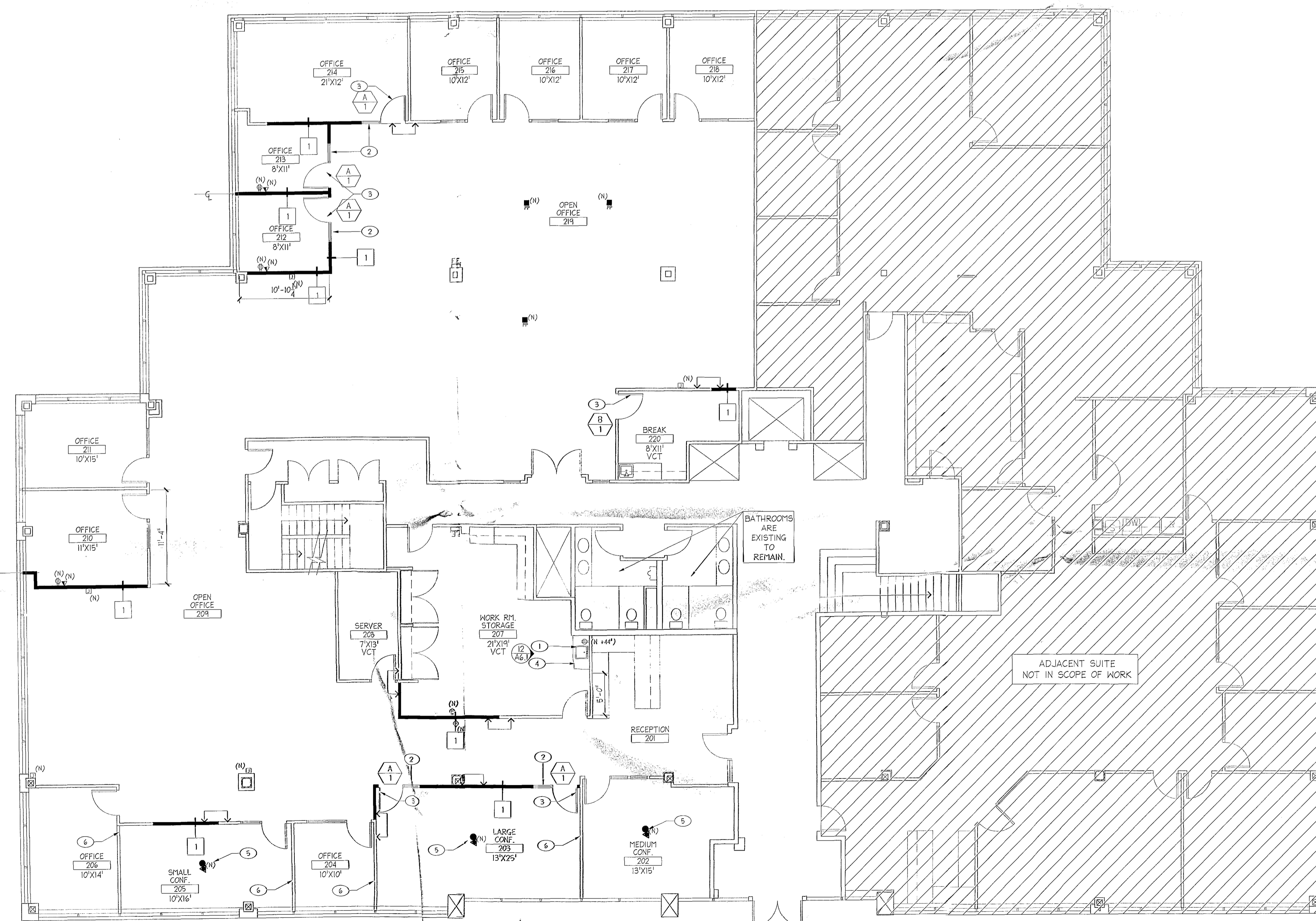
2 PAIR BUTT HINGES  
1 LATCH SET  
1 FLOOR/WALL STOP. MATCH EXISTING

1. FURNISH AND INSTALL NEW PAINT THROUGHOUT. REFINISH DOORS AND FRAMES AS REQUIRED.
2. FURNISH AND INSTALL NEW BUILDING STANDARD CARPET AND BASE THROUGHOUT UNLESS NOTED OTHERWISE.
3. FURNISH AND INSTALL NEW DOOR HARDWARE THROUGHOUT VACANT SUITE 201 TO MATCH EXISTING IN SUITE 208.
4. FURNISH AND INSTALL NEW BUILDING STANDARD VCT AND BASE IN WORK ROOM 207, SERVER ROOM 208 AND BREAK ROOM 220.

- ① FURNISH AND INSTALL NEW BUILDING STANDARD STAINLESS STEEL SINGLE COMPARTMENT SINK WITH ADA COMPLIANT OFFSET DRAIN, DISPOSAL, PLUMBING, FAUCET.
- ② FURNISH AND INSTALL NEW SAFETY GLAZING SIDELITE AND FRAME TO MATCH EXISTING. RE-USE EXISTING SIDELITES FROM DEMOLITION IF POSSIBLE.
- ③ FURNISH AND INSTALL NEW BUILDING STANDARD 3'-0" X FULL HEIGHT DOOR, INTEGRAL FRAME, AND HARDWARE, TO MATCH EXISTING. RE-USE EXISTING DOORS AND FRAMES FROM DEMOLITION IF POSSIBLE.
- ④ FURNISH AND INSTALL NEW PLAM 34" HEIGHT X 24" DEEP X 48" WIDE BUILDING STANDARD BASE CABINET AND COUNTERTOP. FINISHES TO MATCH EXISTING.
- ⑤ PRICE AS ALTERNATE: FURNISH AND INSTALL NEW DATA/POWER FLOOR BOX.
- ⑥ SKIM COAT BOTH SIDES OF EXISTING MODULAR WALL FOR SEAMLESS FINISH TO MATCH EXISTING.

1. THESE DESIGN DRAWINGS INDICATE TYPE AND LOCATION OF OUTLETS, SWITCHING & CIRCUITING SHALL BE AS DESCRIBED ON CONTRACTOR'S ELECTRICAL DRAWINGS, AND INSTALLED AS DIRECTED THEREIN.
2. ELECTRICAL OUTLETS AND COVERPLATES TO MATCH BUILDING STANDARD THROUGHOUT.
3. WALL MOUNTED TELEPHONE AND ELECTRICAL OUTLETS ARE TO BE MOUNTED 18" A.F.F. U.O.N. ~~U.O.N.~~
4. LOCATE OUTLETS ON NEAREST STUD TO DRAWING SYMBOL AS SHOWN.
5. USE COPPER CONDUCTORS ONLY. NO EXCEPTIONS.
6. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR LABELING ALL DEDICATED OUTLETS.
7. ELECTRICAL CONTRACTORS TO FIELD VERIFY EXISTING CONDITIONS AT ELECTRICAL ROOM AND TENANT SPACE PRIOR TO SUBMITTAL OF THEIR BIDS.
8. PROVIDE SEPARATE NEUTRALS FOR EACH CIRCUIT.
9. USE STRANDED WIRE FOR EACH CIRCUIT.
10. NO SOFT WIRE AT LIGHTING WILL BE ALLOWED.
11. USE SPEC GRADE OUTLETS AND SWITCHES ONLY.
12. PROVIDE EXIT LIGHTS W/ BATTERY BACK UP @ ALL EXITS REQUIRED BY CODE.
13. ALL EXISTING ELECTRICAL SHALL REMAIN AS IS WITH THE EXCEPTION OF ELECTRICAL AT DEMOLISHED PARTITIONS U.O.N. ALL (E) LOOSE CABLES (ELEC. & DATA) SHALL BE COILED AND PLACED ABOVE T-BAR CLG.
14. PRIOR TO RUGH IN, COORDINATE LOCATION AND QUANTITY OF ALL FLOOR BOXES, FURNITURE SYSTEM LUGS AND POWER POLES WITH TENANT'S FURNITURE VENDOR.

 DUPLEX RECEPTACLE  
 DEDICATED DUPLEX RECEPTACLE  
 POWER POLE  
 J-BOX  
 BLANK PLATE  
 FLOOR MOUNTED DUPLEX  
 FLOOR MOUNTED TELEPHONE/DATA JACK  
 TELEPHONE/DATA JACK  
 FOUR-PLEX RECEPTACLE  
 CABLE OUTLET  
 FLOOR MOUNTED DEDICATED DUPLEX  
 CARD-KEY  
 DEDICATED FOUR-PLEX RECEPTACLE  
 (N) INDICATES NEW



(Print Tenant Name as it appears on Lease)

By: \_\_\_\_\_  
(print name)

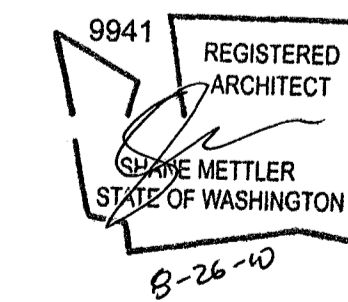
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No.	Issue or Revisions	Date
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SUITE 201  
LEGACY CROWN POINTE  
4040 LAKE WASHINGTON AVENUE  
KIRKLAND, WASHINGTON 98033



## CONSTRUCTION PLAN

## A2.1

# WASHINGTON STATE ENERGY CODE

## ALLOWED WATTS:

7,234 S.F. @ 1.0 WATTS/SF = 7,234 TOTAL WATTS ALLOWED

## PROPOSED WATTS:

(50) EXISTING AND RELOCATED 2X4 FLUORESCENT FIXTURE W (3) 32W LAMPS @ 96W PER FIXTURE = 4,800 WATTS  
(37) NEW 2X4 FLUORESCENT FIXTURE W (2) 32W LAMPS @ 64W PER FIXTURE = 2,368 WATTS  
TOTAL 7,168 WATTS

## RCP SYMBOL LEGEND:

- (E) 2'X4' T-BAR SUSPENDED CEILING GRID AND SECOND LOOK TEGULAR TILE.
- NEW TYPICAL BUILDING STANDARD 2'X4' ACOUSTICAL CEILING TILES TO BE USG SECOND LOOK W/ TEGULAR EDGE THROUGHOUT SUITE 201 TO MATCH EXISTING IN SUITE 208.
- EXISTING 2'X4' FLUORESCENT FIXTURE. (N) = NEW (R) = RELOCATED.
- NEW 2'X4' FLUORESCENT FIXTURE TO MATCH EXISTING WITH 16 CELL PARABOLIC LENS AND (2) 32 WATT LAMPS AND BALLAST TO BE LITHONIA OR EQUAL.

## KEY NOTES:

- ① (E) T-BAR TO REMAIN, REPAINT AS REQUIRED. REPLACE ALL CEILING TILE W/ (N). REPLACE ALL PRISMATIC LIGHT FIXTURES W/ PARABOLIC FIXTURES.
- ② PAINT ALL GYP. BD. CEILINGS.



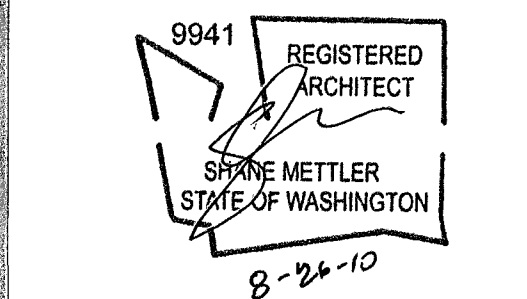
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By: \_\_\_\_\_  
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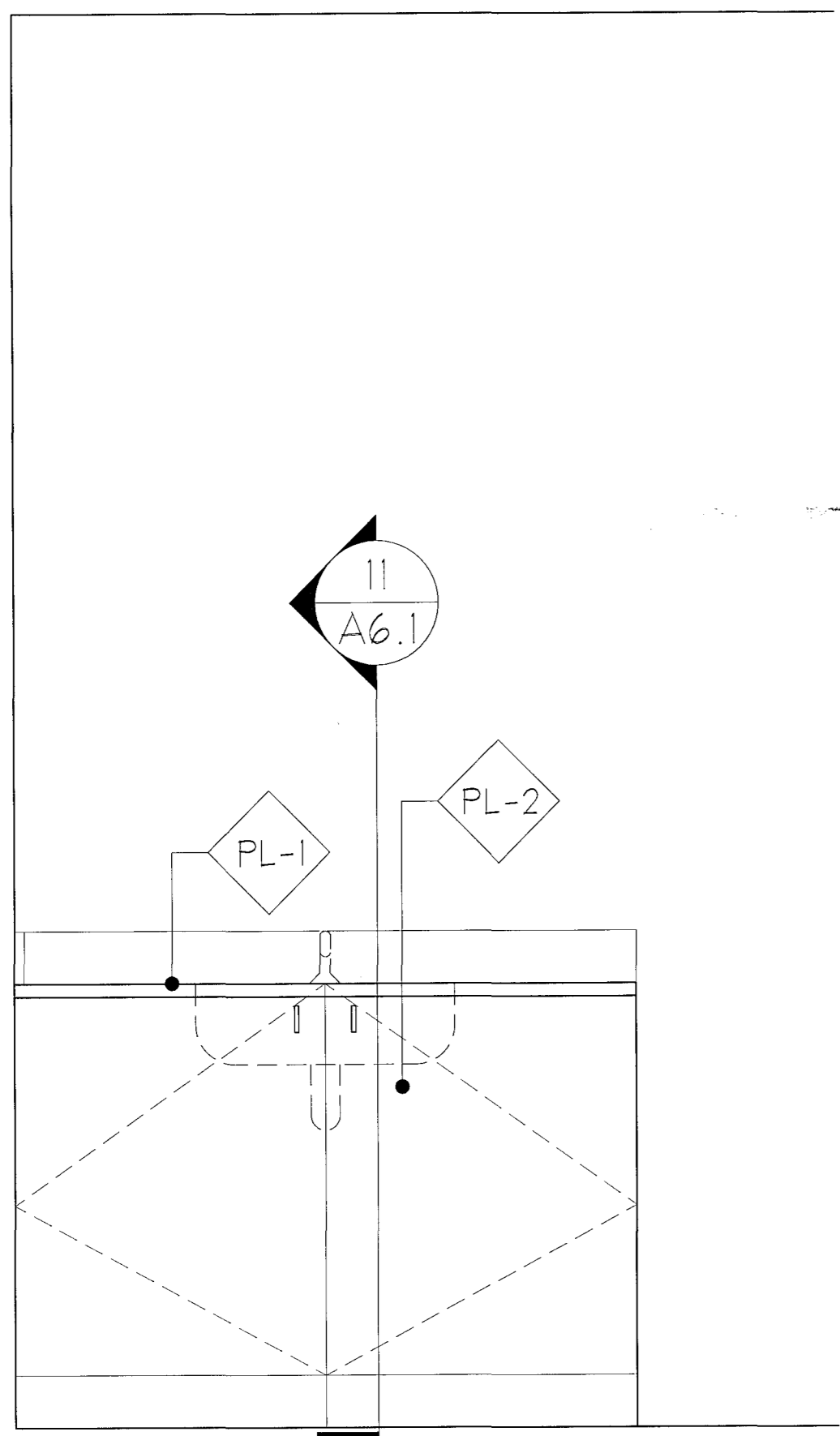


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Drawing Title: REFLECTED CEILING PLAN  
Scale: 1/8"=1'-0" U.O.N. Project No: DXT143  
Drawing No: A2.2

User: gvonlabib Path: J:\DESIGN\PLAN\Washington\Kirkland\Crown\_Points\Blog\_4040\1\201\_Stratagen\_DXXXX\CD\A61.dwg At: 06/06/10 - 16:32

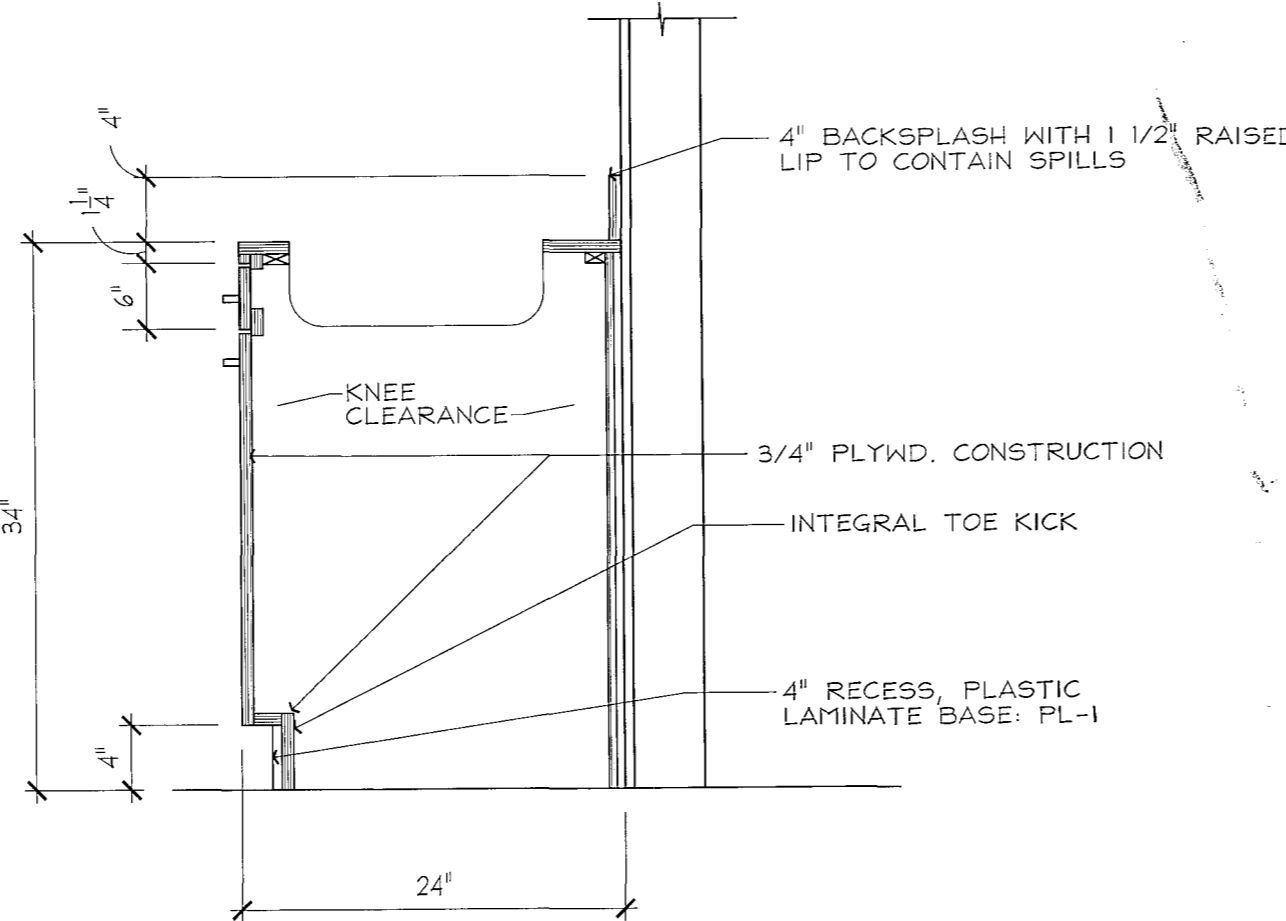
ELEVATION AT NEW CABINET IN WORK RM 207

1" = 1'-0" 12



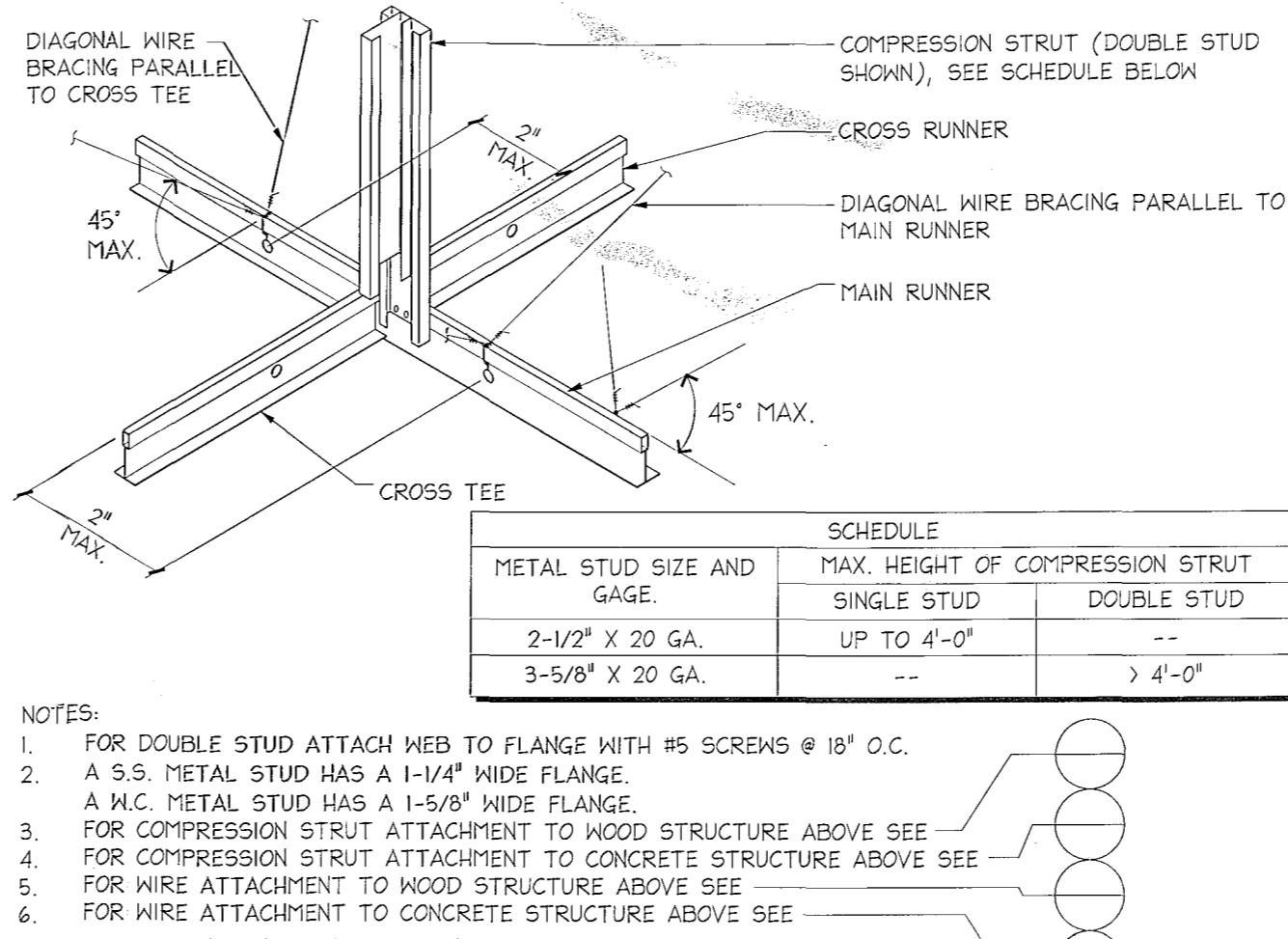
SECTION AT NEW SINK IN WORK RM 207

1" = 1'-0" 11



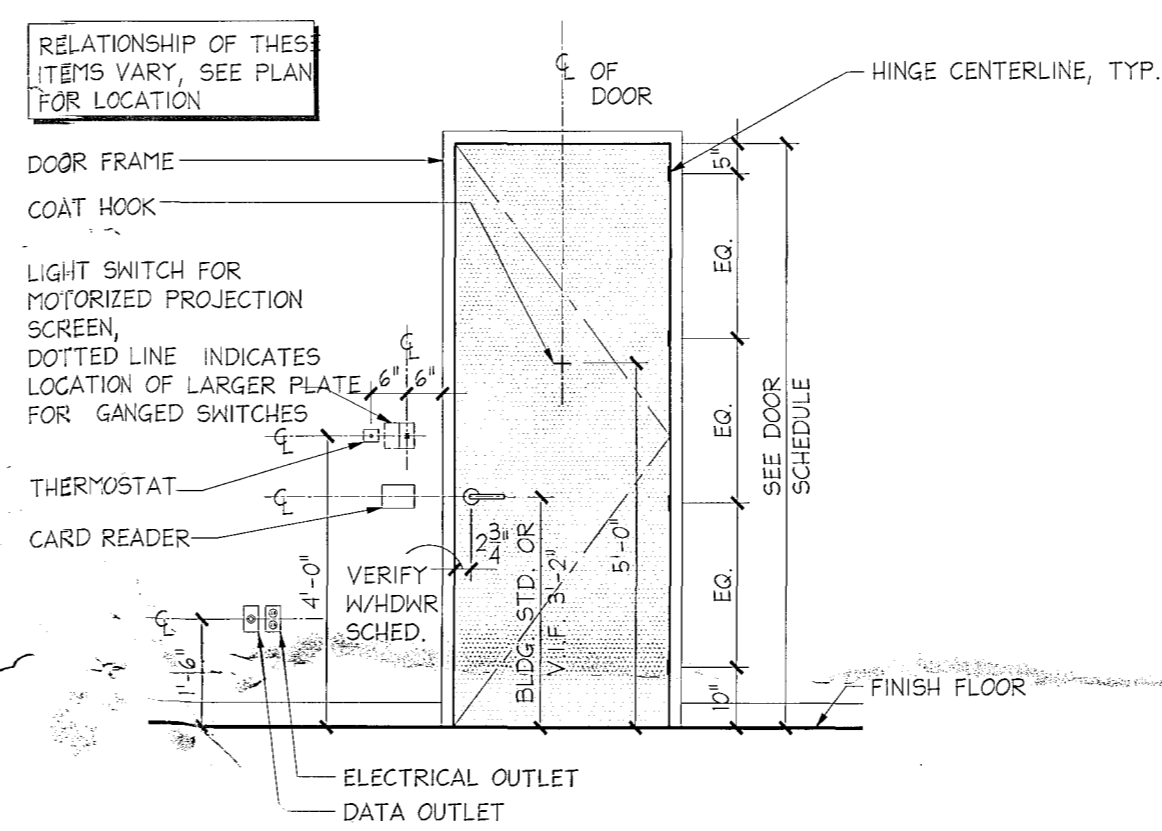
DIAGONAL BRACING AND COMPRESSION STRUT

N.T.S. 8



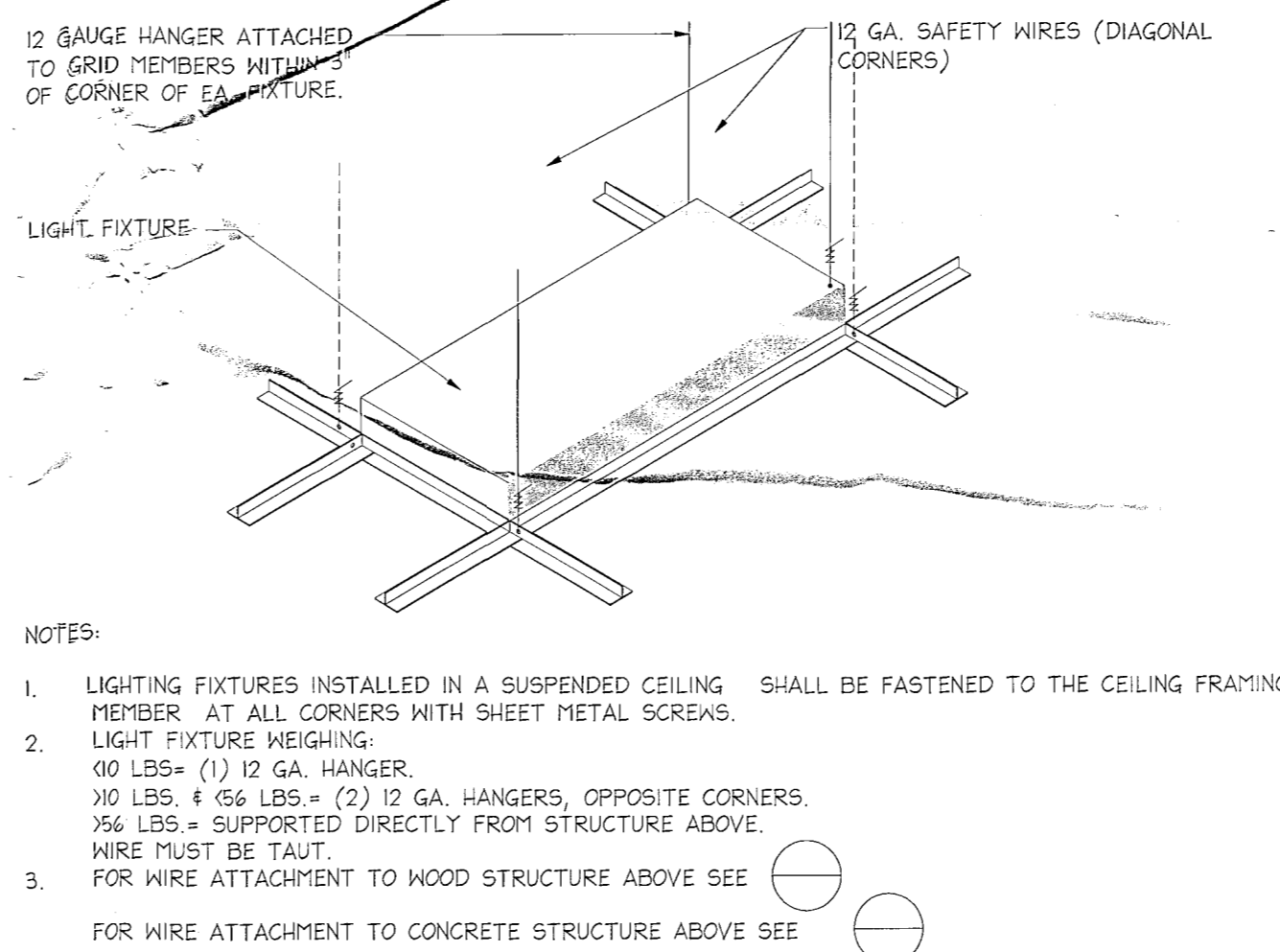
TYP. MOUNTING HEIGHTS

3/8" = 1'-0" 7



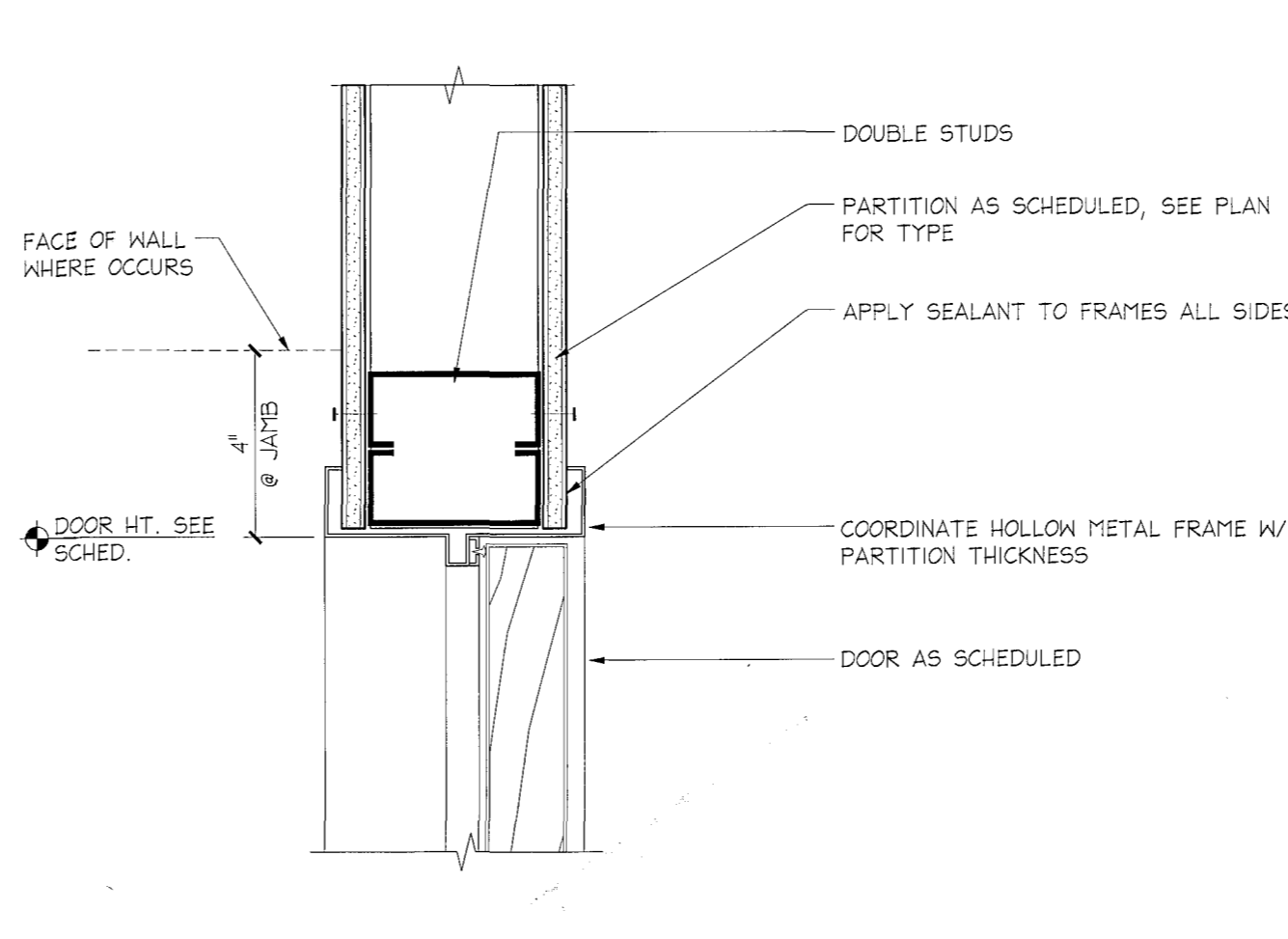
LIGHT FIXTURE SUPPORT

3" = 1'-0" 6



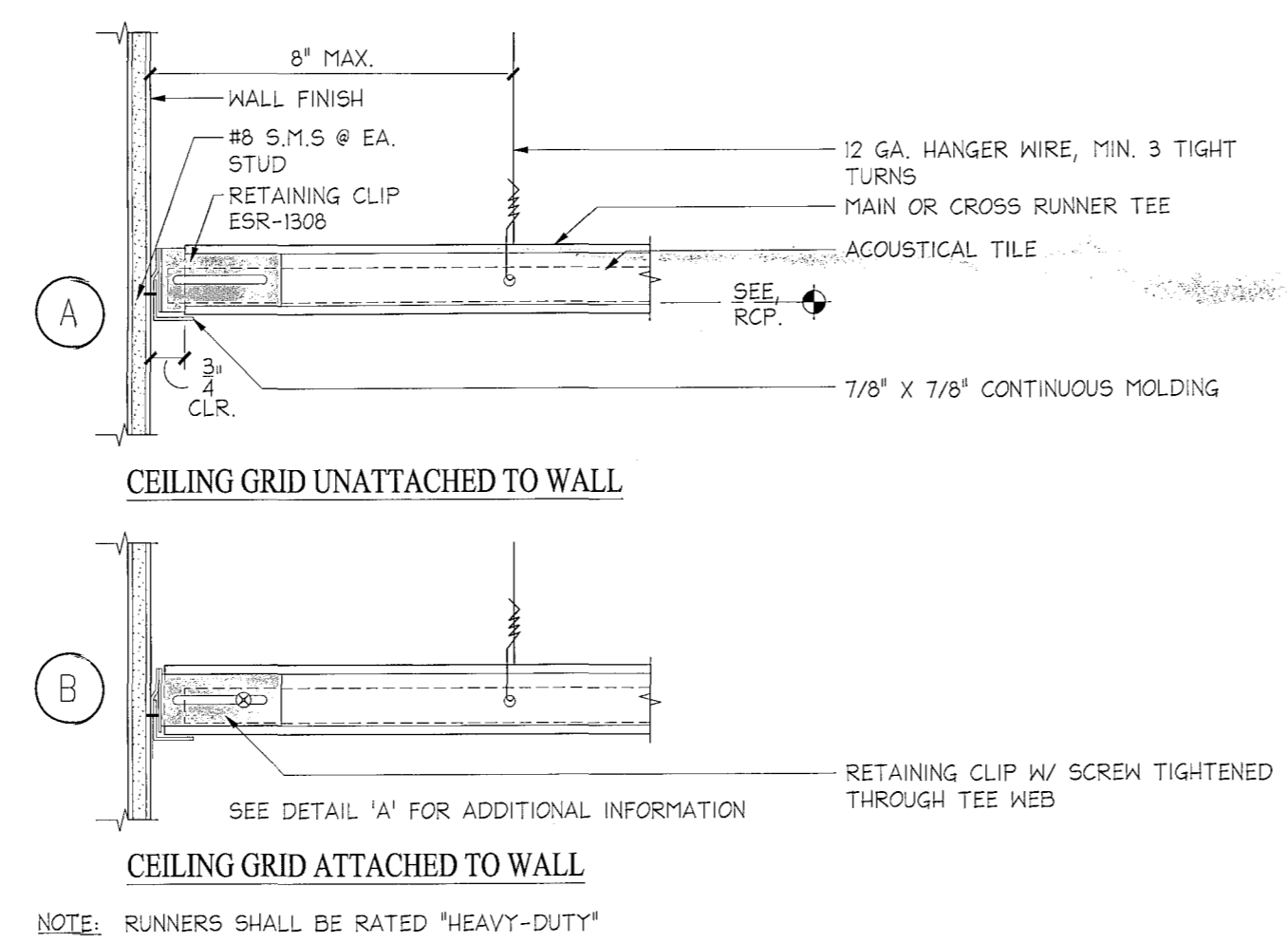
TYPICAL DOOR JAMB/HEAD

3/4" = 1'-0" 5



SUSPENDED ACOUSTICAL CEILING

N.T.S. 9

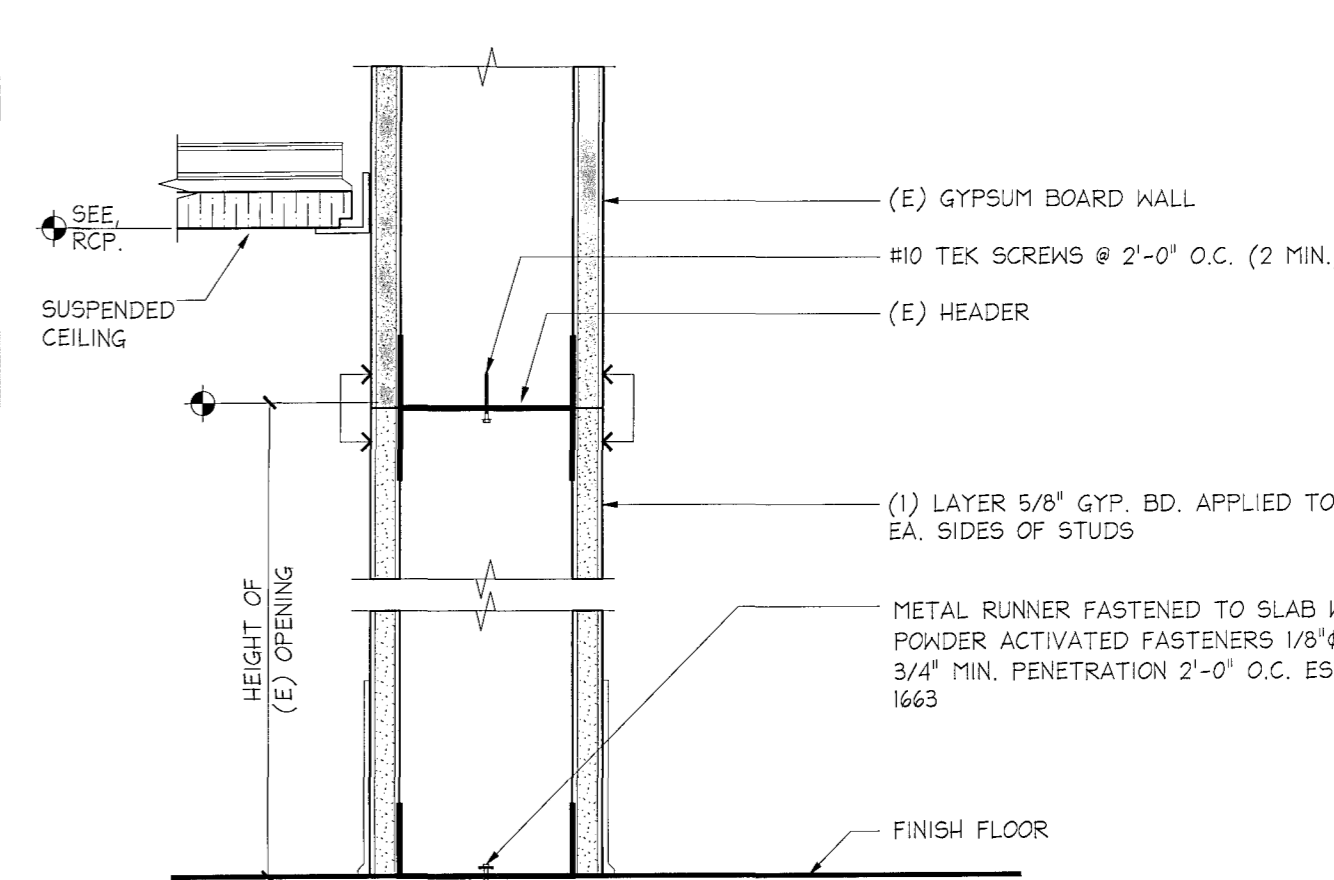


ACOUSTICAL TILE CEILING SUSPENSION SYSTEM

3" = 1'-0" 10

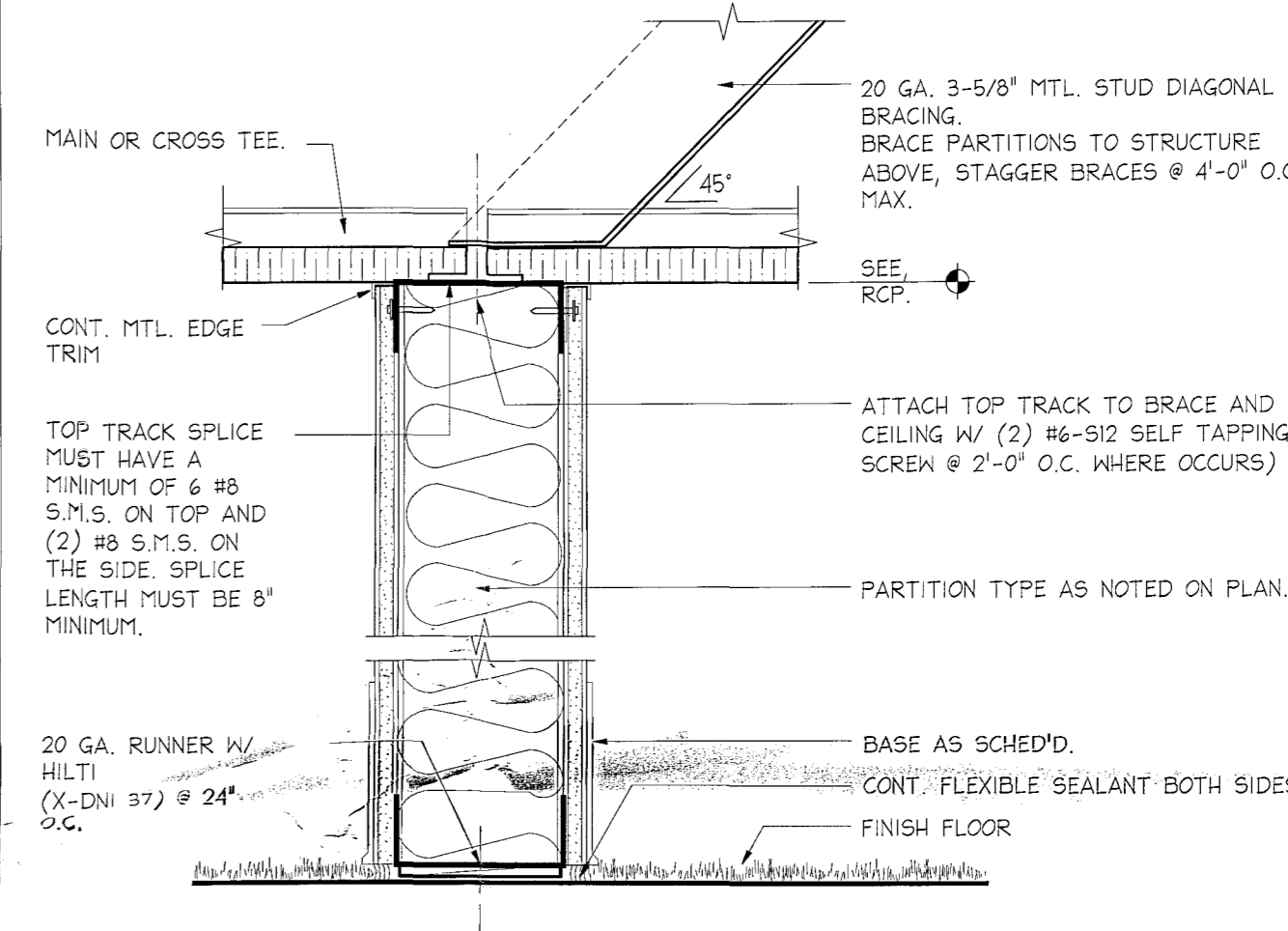
NON-RATED INFILL PARTITION

3" = 1'-0" 4



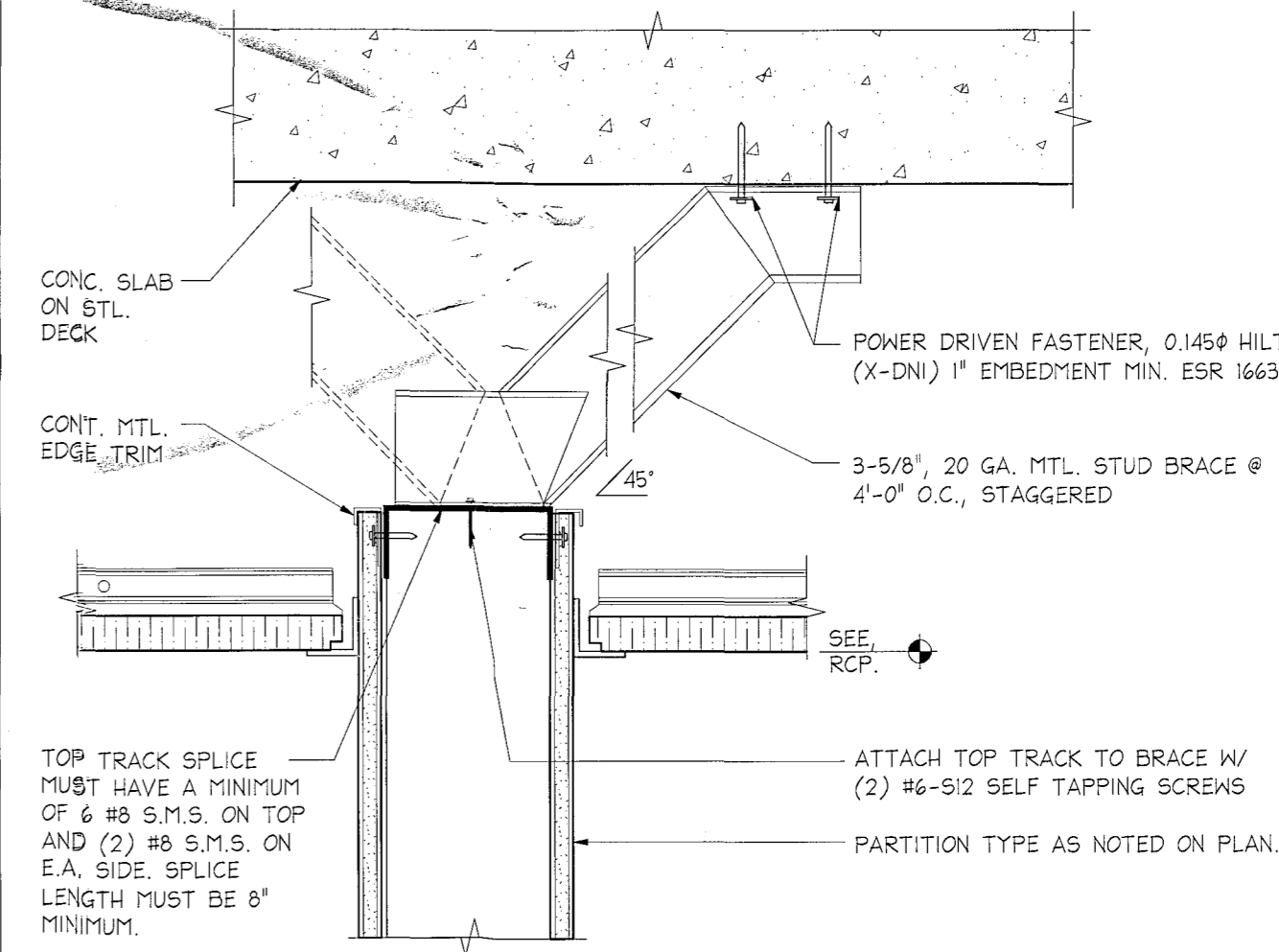
CEILING-HEIGHT DEMISING PARTITION

3" = 1'-0" 3



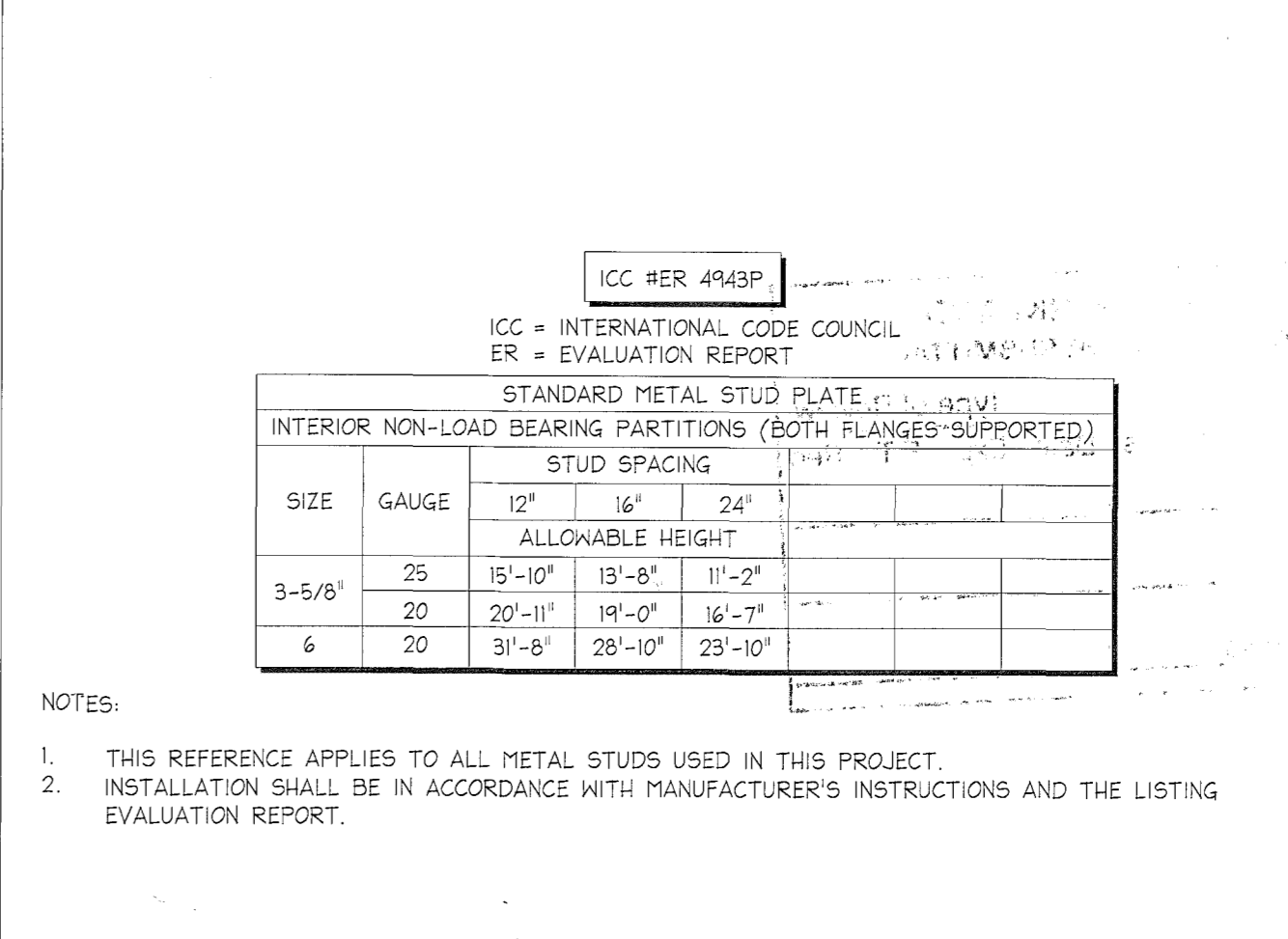
TYP. PARTITION BRACE TO CONCRETE SLAB

3" = 1'-0" 2



METAL STUD EVALUATION REPORT AND SIZES

N.T.S. 1



Project Title:

Date:

Drawing Title:

Scale:

Drawing No:

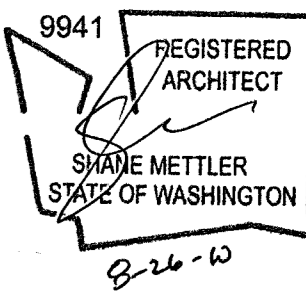
Drawn by:

SM

Project No:

DXT143

STRATAGEN  
SUITE 201  
LEGACY CROWN POINT  
4040 LAKE WASHINGTON AVENUE  
KIRKLAND, WASHINGTON 98033



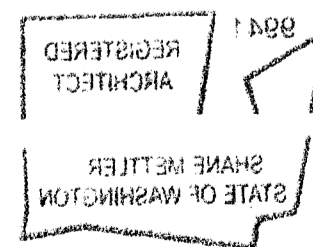
Approval:  
TENANT'S APPROVAL: Construction Document  
Tenant's approval of the final Working Drawings is required in order to authorize the construction of the improvements. The final Working Drawings are based on the final Space Plan approved by Tenant.  
Any changes to the final Working Drawings requested by Tenant hereafter shall be considered a "Tenant Change" and may be subject to an "Over Allowance Amount" (as such terms are defined in the First Lease). Tenant is responsible for ensuring that the final Working Drawings are adequate to fully meet the requirements of its intended use of the Premises.  
Reviewed & approved by Tenant:  
By: (print name)  
Title:  
Date:  
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE LEGACY PARTNERS, CDS INC. NORTHERN CALIFORNIA, AND ARE NOT TO BE REPRODUCED OR DISTRIBUTED IN WHOLE OR IN PART WITHOUT THE WRITTEN AUTHORIZATION BY AN APPROPRIATE MEMBER OF THE CORPORATION.  
No. Issue or Revisions Date



CITY OF KIRKLAND		APPROVED FOR SUBMITTAL			
		Type of Review			
Initials / Date		Exp	F	T	Reg
Building	<i>[Signature]</i> 9/15	X			
Planning	<i>[Signature]</i> 9/16	X			
Public works					

→ No Change of  
USP

→ work Area 1-400 ft



CITY OF KIRKLAND	
BUILDING DEPARTMENT	
PERMIT #	BLD10-00392
ADDRESS	4040 LAKE WASHINGTON BLVD NE
PLANS FOR	TENANT IMPROVEMENT - COMMERCIAL
PROJECT	STRATAGEN/COMMITI
OWNER	LEGACY PARTNERS II
DATE SUBMITTED	
DATE APPROVED	
APPROVED BY	<i>[Signature]</i>

Bdd  
Dad  
File  
Copy

PCP

