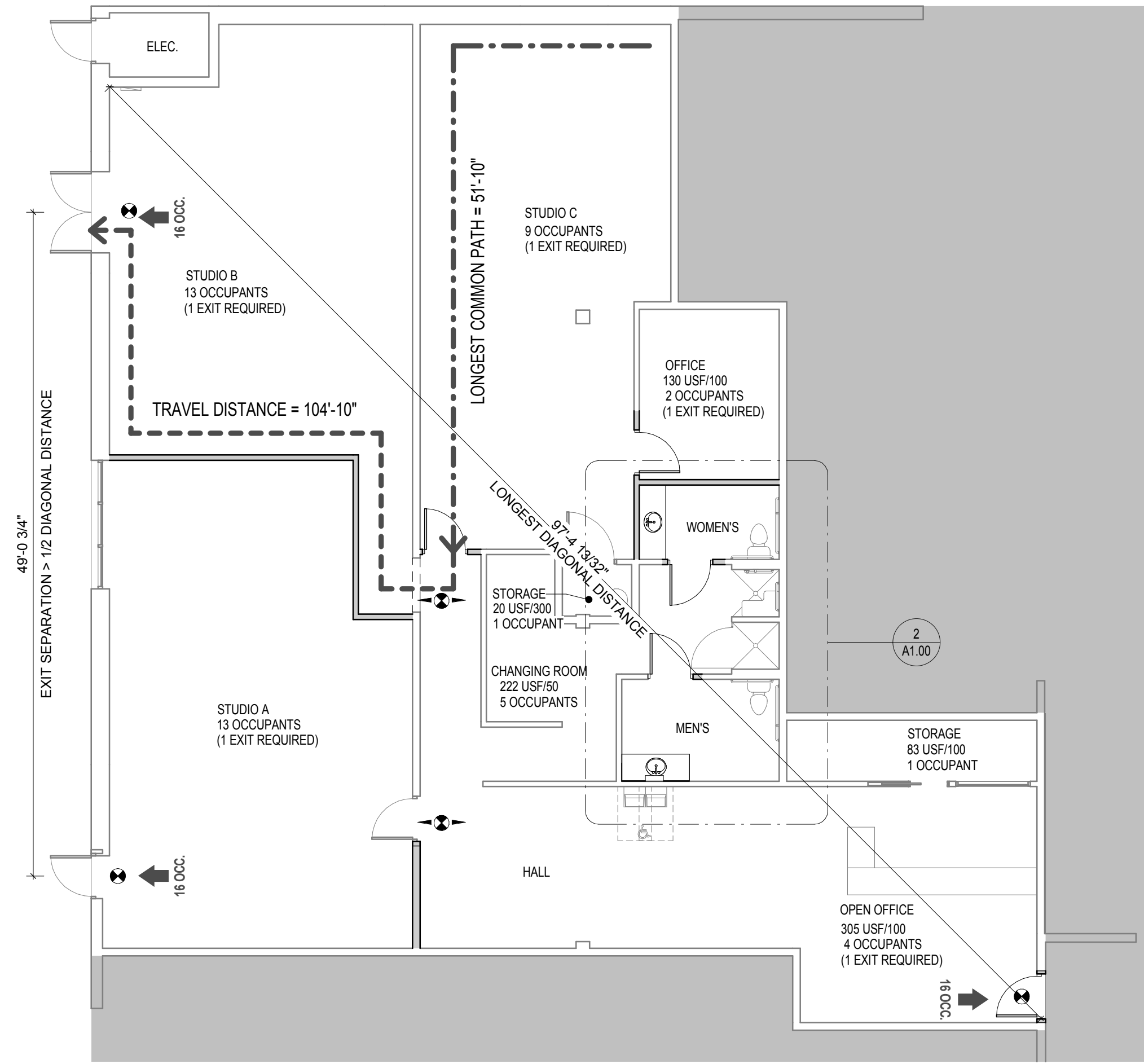
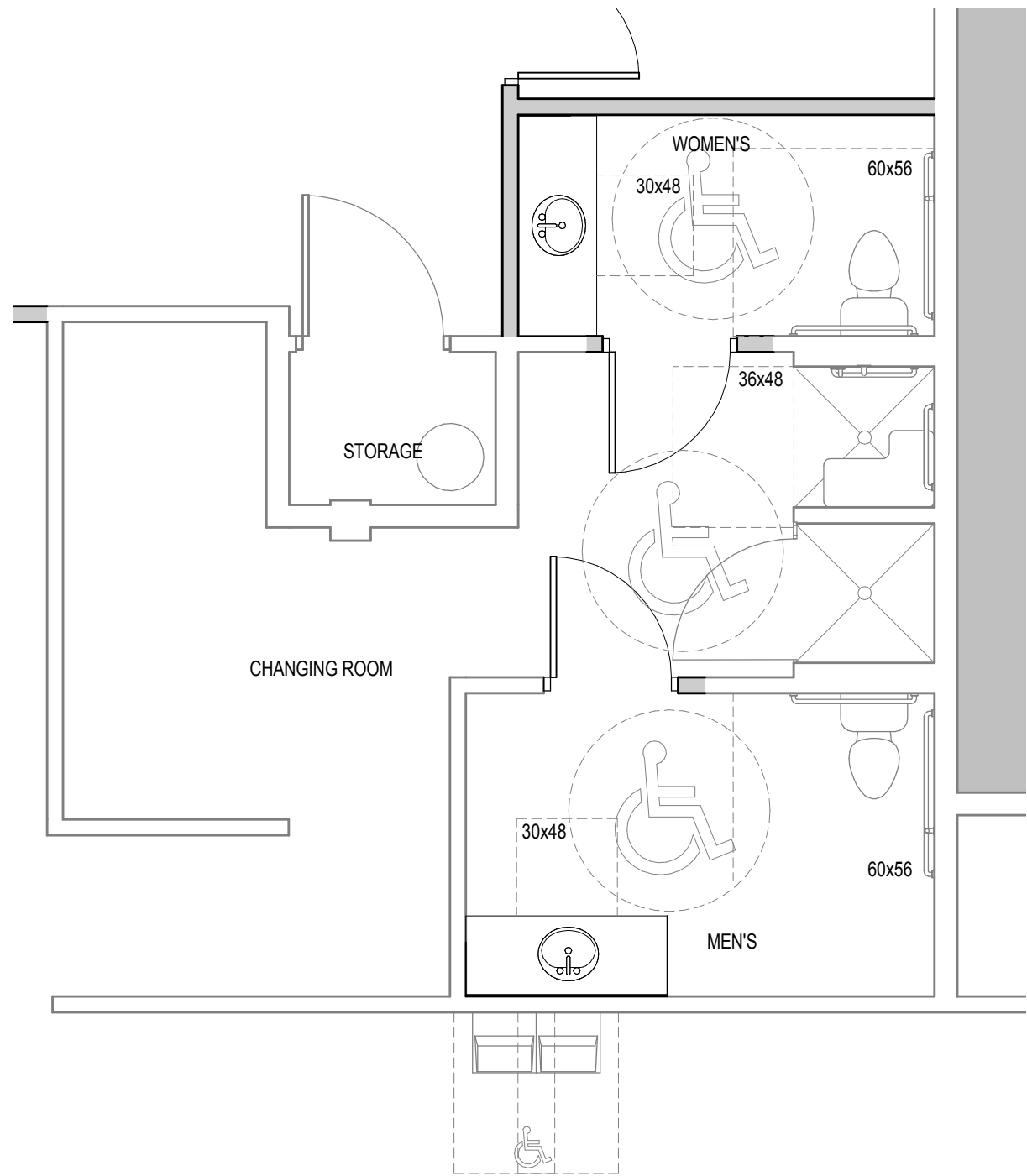




1 CODE PLAN - LEVEL 01
Scale: 1/8" = 1'-0"



2 ENLARGED RESTROOM CODE PLAN
Scale: 1/4" = 1'-0"

CODE SUMMARY

AREA OF IMPROVEMENT:	3,590 SF		
OCCUPANCY PER IBC CHAPTER 3:	B		
OCCUPANT COUNT:	48 OCCUPANTS		
	REQUIRED:	PROVIDED:	THEREFORE:
MINIMUM NUMBER OF EXITS PER IBC TABLE 1006.3.1:	1	3	OK
EGRESS WIDTH PER IBC 1005:	9'6" MIN	>36"	OK
MINIMUM DOOR WIDTH PER IBC 1005.3.2:	32" MIN	144"	OK
	ALLOWED:	PROVIDED:	THEREFORE:
MAX COMMON PATH OF EGRESS PER IBC TABLE 1008.3.2(2):	75' MAX.	51'-10"	OK
EXIT ACCESS TRAVEL DISTANCE PER IBC TABLE 1017.2:	200' MAX.	104'-10"	OK

PLUMBING FIXTURE REQUIREMENTS

OCCUPANCY PER IBC CHAPTER 3:	B		
OCCUPANT LOAD PER IBC 1004.1.2 (FROM PLAN):	48		
MALE OCCUPANTS:	24		
FEMALE OCCUPANTS:	24		
SEE OCCUPANCY LETTER INCLUDED WITH SUBMITTAL			
	<u>REQUIRED</u>	<u>PROVIDED:</u>	<u>THEREFORE</u>
WATER CLOSETS - MALE (PER IBC TABLE 2902.1:)	1	1	OK
WATER CLOSETS - FEMALE (PER IBC TABLE 2902.1:)	1	1	OK
LAVATORIES - MALE (PER IBC TABLE 2902.1:)	1	1	OK
LAVATORIES - FEMALE (PER IBC TABLE 2902.1:)	1	1	OK
DRINKING FOUNTAINS (PER IBC TABLE 2902.1:)	1	2	OK

CODE PLAN GENERAL NOTES

1. FIRE EXTINGUISHER LOCATIONS TO BE VERIFIED IN FIELD AND RELOCATED/PROVIDED AS REQUIRED. PROVIDE 1 (MINIMUM 2A10-BC) EVERY 3,000 SF, TYPICAL AND NO MORE THAN 75 LINEAR FEET APART.
2. EXIT SIGN LOCATIONS TO BE VERIFIED IN FIELD AND RELOCATED/PROVIDED AS REQUIRED.
3. PROVIDE SIGN POSTED AT ALL EXIT DOORS WITH LOCKABLE HARDWARE READING "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED" AS REQUIRED BY 2015 IBC

CODE PLAN LEGEND

	NO WORK THIS AREA		COMMON PATH OF TRAVEL
	NEW CONSTRUCTION		EXIT ACCESS
	EXISTING TO REMAIN		DIAGONAL DISTANCE / EXIT SEPARATION
	FIRE EXTINGUISHER		OCCUPANCY COUNT AT EXIT
	EXIT SIGN		

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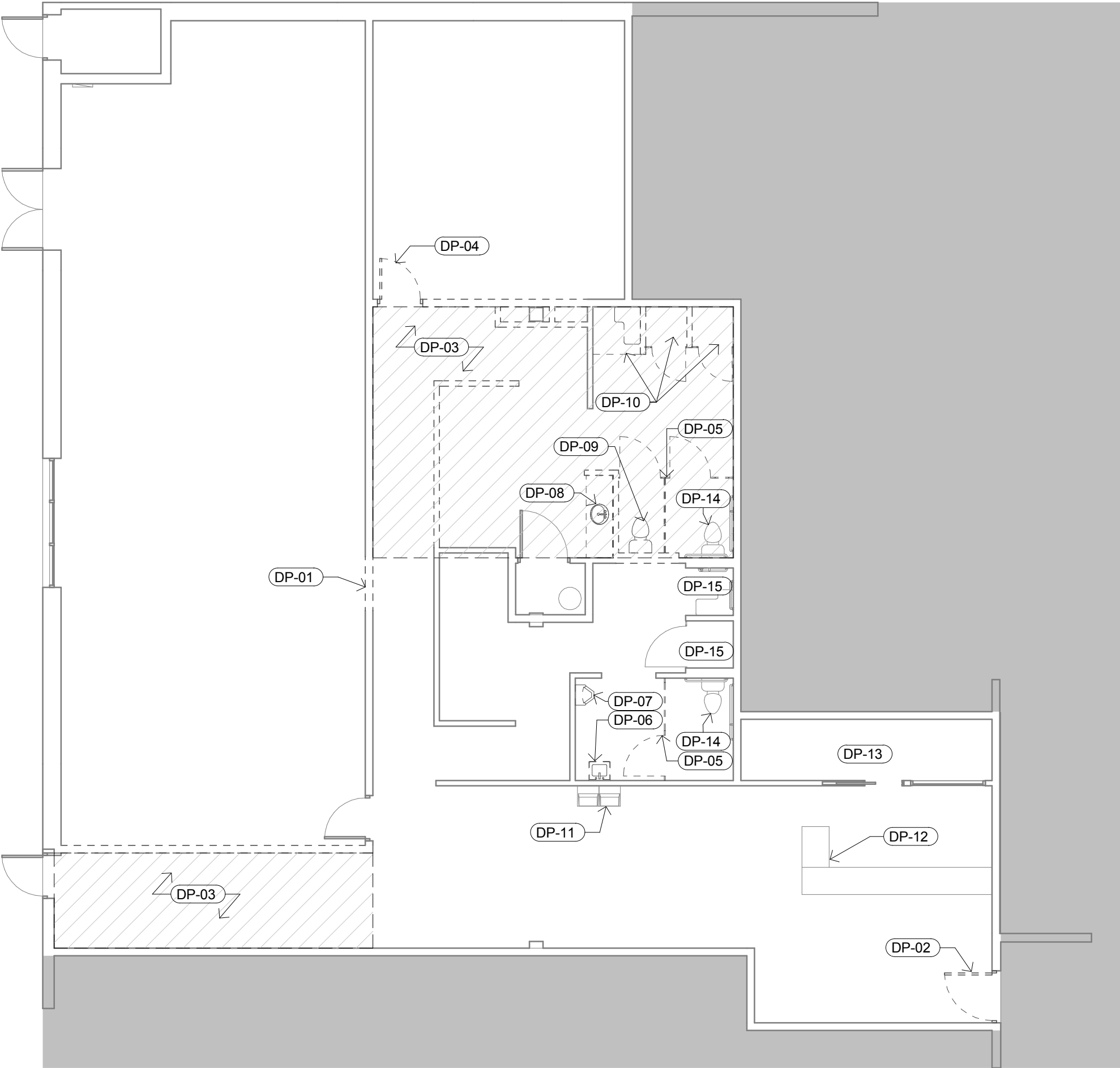


REV	DESCRIPTION	DATE
PERMIT SUBMITTAL		03.13.2017

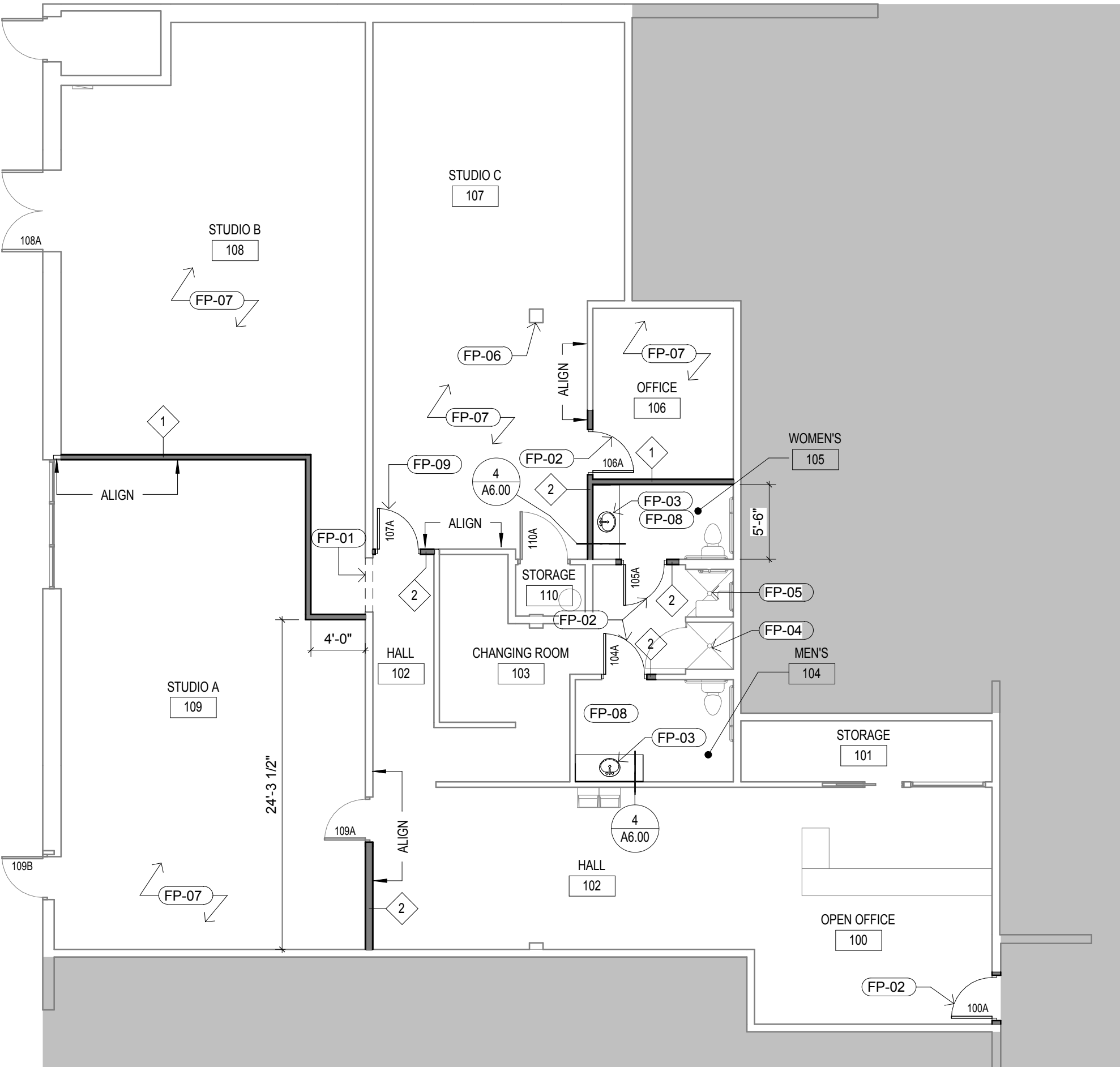
CODE PLAN

A1.00

PROJECT NUMBER: A17-187 3/13/2017
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DEMO PLAN - LEVEL 01
Scale: 1/8" = 1'-0"



NEW PLAN - LEVEL 01
Scale: 1/8" = 1'-0"

DEMOLITION KEYNOTES

KEYNOTE	DESCRIPTION
DP-01	DEMOLISH PORTION OF EXISTING WALL TO ACCOMMODATE NEW CASED OPENING PER PLAN 2/A3.00.
DP-02	REMOVE EXISTING DOOR, FRAME, AND HARDWARE. VERIFY SALVAGE OR DISPOSAL WITH BUILDING OWNER. PREPARE OPENING FOR NEW DOOR AND FRAME PER PLAN 2/A3.00.
DP-03	REMOVE EXISTING FLOORING WITHIN HATCHED AREA AS REQUIRED WHERE AFFECTED BY NEW CONSTRUCTION. PREPARE SUB-BASE TO RECEIVE NEW FINISH. VERIFY ALL FINISHES WITH TENANT PRIOR TO DEMOLITION.
DP-04	REMOVE EXISTING DOOR, FRAME AND HARDWARE FOR RELOCATION PER PLAN 2/A3.00. PROTECT DURING CONSTRUCTION.
DP-05	REMOVE EXISTING RESTROOM PARTITIONS. VERIFY SALVAGE OR DISPOSAL WITH BUILDING OWNER.
DP-06	REMOVE EXISTING RESTROOM SINK. VERIFY SALVAGE OR DISPOSAL WITH BUILDING OWNER.
DP-07	REMOVE EXISTING URINAL. VERIFY SALVAGE OR DISPOSAL WITH BUILDING OWNER.
DP-08	REMOVE EXISTING COUNTER TOP AND LAVATORY. VERIFY SALVAGE OR DISPOSAL WITH TENANT AND BUILDING OWNER.
DP-09	REMOVE EXISTING TOILET. VERIFY SALVAGE OR REUSE WITH BUILDING OWNER.
DP-10	REMOVE EXISTING SHOWER AND ACCESSORIES. CAP UNUSED PLUMBING LINES BELOW FLOOR. PREPARE SUB-BASE TO RECEIVE NEW FINISH.
DP-11	EXISTING DUAL HEIGHT DRINKING FOUNTAIN TO REMAIN. PROTECT DURING CONSTRUCTION.
DP-12	EXISTING FRONT DESK TO REMAIN. PROTECT DURING CONSTRUCTION.
DP-13	EXISTING CONDITIONS TO REMAIN. PROTECT DURING CONSTRUCTION.
DP-14	EXISTING TOILET AND GRAB BARS TO REMAIN. PROTECT DURING CONSTRUCTION.
DP-15	EXISTING SHOWERS TO REMAIN. PROTECT DURING CONSTRUCTION.

DEMOLITION PLAN GENERAL NOTES

- ALL SALVAGED ITEMS SHALL BE RETURNED TO BUILDING OWNER AT OWNER'S OPTION. ALL UNWANTED MATERIAL SHALL BE DISPOSED OF PROPERLY.
- PROTECT ALL AREAS OF BUILDING AND H.V.A.C. SYSTEM FROM DUST AND DEBRIS AT ALL TIMES
- PRIOR TO DEMOLITION GENERAL CONTRACTOR TO VISIT THE SITE AND VERIFY EXTENT OF DEMOLITION ACTIVITIES REQUIRED FOR NEW CONSTRUCTION
- THE CONTRACTOR SHALL ENSURE THAT THIS PROJECT AND ALL CONSTRUCTION ACTIVITIES RELATED THERETO CONFORM WITH ALL LOCAL, REGIONAL, STATE AND/OR FEDERAL REGULATIONS PERTAINING TO DISTRIBUTING, DISPLACING, AND/OR REMOVAL OF ASBESTOS OR ASBESTOS CONTAINING MATERIALS
- ALL ABANDONED FASTENERS AND ANCHORS SHALL BE REMOVED FROM ALL WALL SURFACES TO BE PATCHED/REPAIRED AS NECESSARY
- ALL DEMOLISHED AND UNUSED CABLE AND WIRING TO BE DEMOLISHED BACK TO SOURCE
- REMOVE ALL DEBRIS AND GARBAGE PRIOR TO START OF CONSTRUCTION. REPAIR SUBSTRATES AS REQUIRED FOR NEW FINISHES.
- PATCH AND REPAIR G.W.B. AS REQUIRED TO ACCEPT NEW FINISH.
- PATCH AND REPAIR EXISTING FLOOR AS REQUIRED TO RECEIVE NEW FINISH FLOOR.
- ALL EXISTING COLUMNS TO REMAIN.
- COORDINATE REMOVAL OF ALL FINISHES WITH TENANT PRIOR TO DEMOLITION.
- COORDINATE ALL MIRROR REMOVAL/RELOCATION WITH TENANT.
- CAP ALL UNUSED PLUMBING LINES BELOW FLOOR. PREPARE SUB-BASE TO RECIEVE NEW FINISHES AS REQUIRED.

DEMOLITION PLAN LEGEND

- NO WORK THIS AREA
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- EXTENT OF FLOORING TO BE DEMOLISHED

FLOOR PLAN KEYNOTES

KEYNOTE	DESCRIPTION
FP-01	NEW 4'-0" x 7'-0" CASED OPENING.
FP-02	PROVIDE AND INSTALL NEW BUILDING STANDARD DOOR, FRAME AND HARDWARE. SEE DOOR HARDWARE SCHEDULE ON A9.00.
FP-03	PROVIDE AND INSTALL NEW COUNTERTOP AND BUILDING STANDARD LAVATORY. SEE DETAIL ON A6.00.
FP-04	EXISTING SHOWER TO REMAIN.
FP-05	EXISTING ADA SHOWER TO REMAIN.
FP-06	EXISTING COLUMN TO BE WRAPPED IN 5/8" TYPE 'X' GWB. PROVIDE AND INSTALL PAINT AND WALL BASE AS REQUIRED. VERIFY WITH TENANT.
FP-07	PATCH AND REPAIR FLOORING AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. PROVIDE AND INSTALL NEW FINISHES AS REQUIRED. VERIFY WITH TENANT PRIOR TO CONSTRUCTION.
FP-08	VERIFY RESTROOM ACCESSORIES WITHIN RESTROOM. REPLACE AND PROVIDE AND INSTALL NEW AS REQUIRED. SEE TYPICAL MOUNTING HEIGHT DETAILS ON A6.00.
FP-09	RELOCATED DOOR, FRAME AND HARDWARE.

FLOOR PLAN GENERAL NOTES

- PATCH AND REPAIR G.W.B. THROUGHOUT AS REQUIRED AND PREPARE SURFACES TO ACCEPT NEW FINISH.
- PROTECT ANY ITEMS TO REMAIN AGAINST DAMAGE DURING CONSTRUCTION.
- PRIOR TO COMPLETION OF CONSTRUCTION, CLEAN AND RESTORE TO GOOD WORKING CONDITION ALL SURFACES INCLUDING BUT NOT LIMITED TO, WINDOWS, SWITCH AND OUTLET PLATES.
- REPAIR FLOOR SUBSTRATE AS REQUIRED TO ACCOMMODATE INSTALLATION OF NEW FINISHES.
- ALL FINISHES TO BE SELECTED BY TENANT. COORDINATE ALL FINISHES WITH TENANT PRIOR TO START OF CONSTRUCTION.
- VERIFY LOCATION OF ALL FIRE EXTINGUISHERS WITHIN SPACE. PROVIDE AND INSTALL NEW AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. VERIFY LOCATION IS ACCEPTABLE WITH TENANT AND FIRE MARSHAL.
- ALL NEW WALL CONSTRUCTION AND AREAS AFFECTED BY CONSTRUCTION TO BE PRIMED AND PAINTED (LEVEL '4' FINISH). VERIFY EXTENT OF PAINT AND FINISH SELECTIONS WITH TENANT PRIOR TO START OF CONSTRUCTION.
- PATCH AND REPAIR FLOORING THROUGHOUT AS REQUIRED IN AREAS AFFECTED BY NEW CONSTRUCTION. VERIFY WITH TENANT PRIOR TO CONSTRUCTION.
- SEE TYPICAL MOUNTING HEIGHTS ON A6.00.
- VERIFY COMPLIANCE OF ALL FIXTURES AND ACCESSORIES WITH ICC A117.1:2009. REPLACE AS REQUIRED.
- VERIFY ALL DOOR HARDWARE AND KEYING REQUIREMENTS WITH TENANT PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION NOT NOTED IS EXISTING TO REMAIN. PROTECT THROUGHOUT CONSTRUCTION.

WALL SCHEDULE

SYMBOL	DESCRIPTION	HEIGHT	RATING
1	-5/8" TYPE 'X' GWB BOTH SIDES -2X4 WOOD STUD -SOUND BATT INSULATION IN CAVITY	TO UNDERSIDE OF GWB CEILING. SEE 2/A6.00.	1 HR.
2	MATCH EXISTING ADJACENT WALL CONSTRUCTION	MATCH EXISTING ADJACENT	1 HR.

FLOOR PLAN LEGEND

- NO WORK THIS AREA
- NEW CONSTRUCTION
- EXISTING TO REMAIN
- WALL TAG, SEE SCHEDULE

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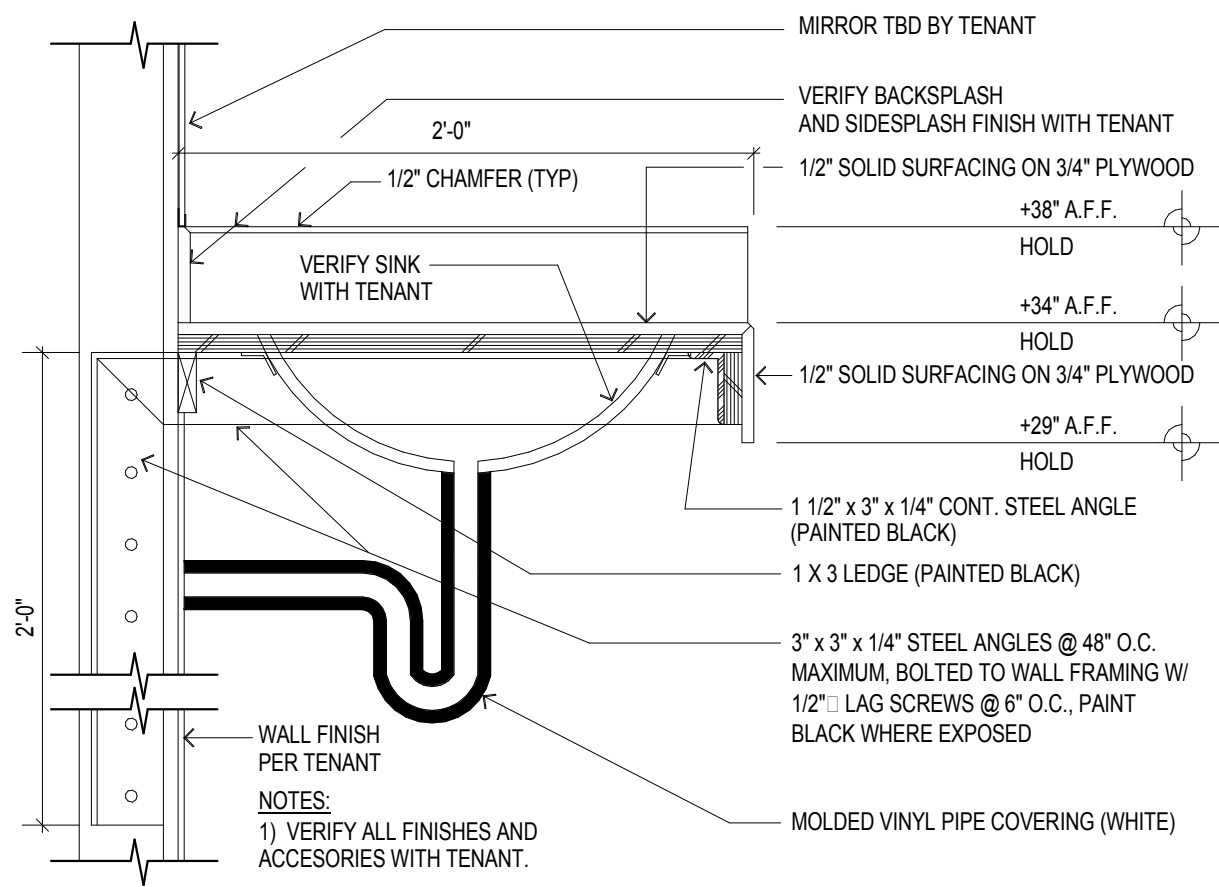
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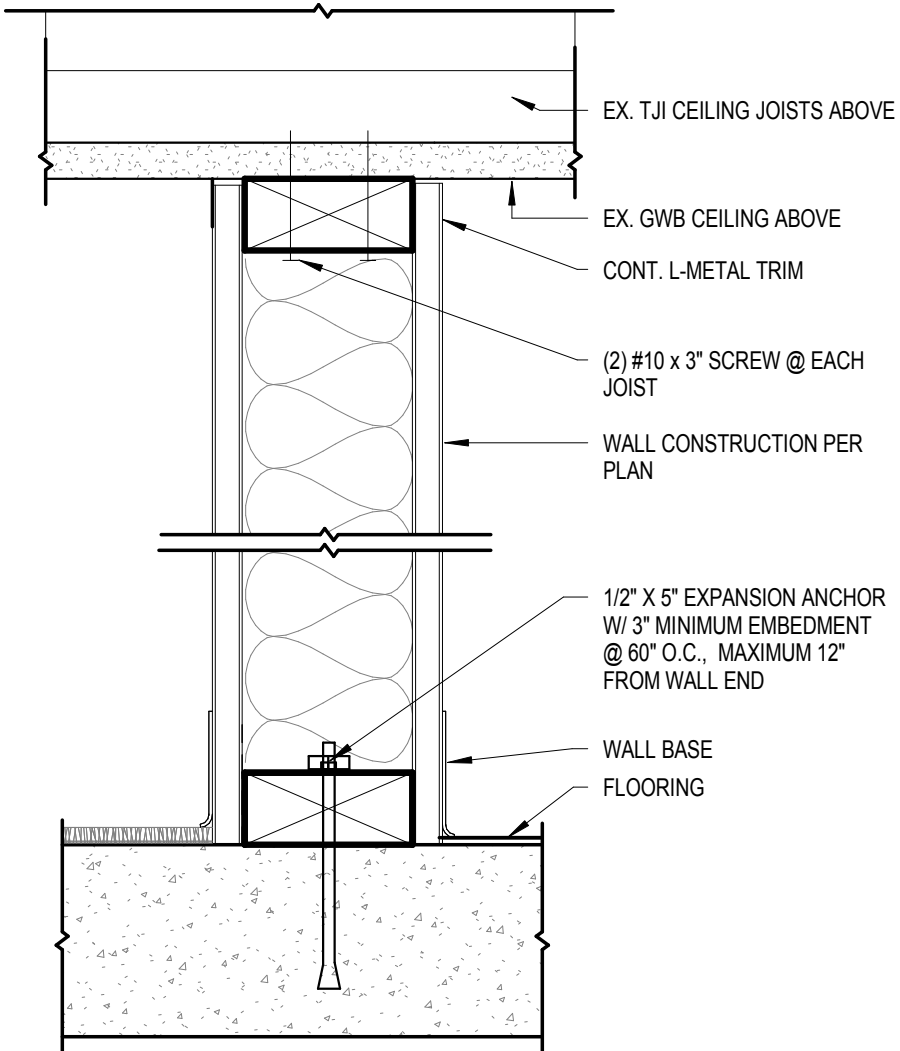
DEMOLITION
PLAN/FLOOR PLAN

A3.00

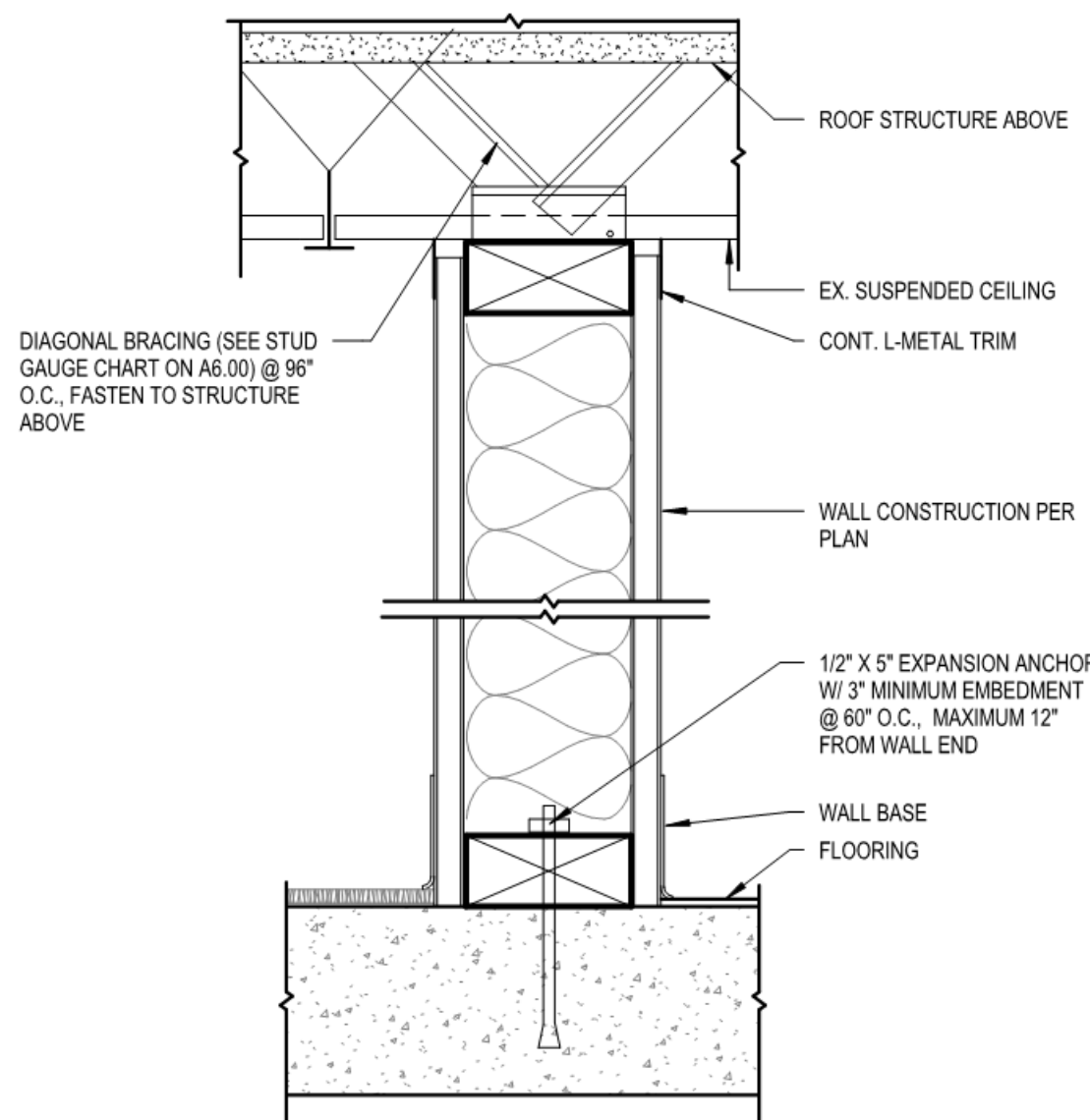
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4 TYPICAL LAVATORY SECTION
Scale: 1 1/2" = 1'-0"



2 TYPICAL N.L.B. PARTITION FRAMING @ GWB CEILING
Scale: 3" = 1'-0"



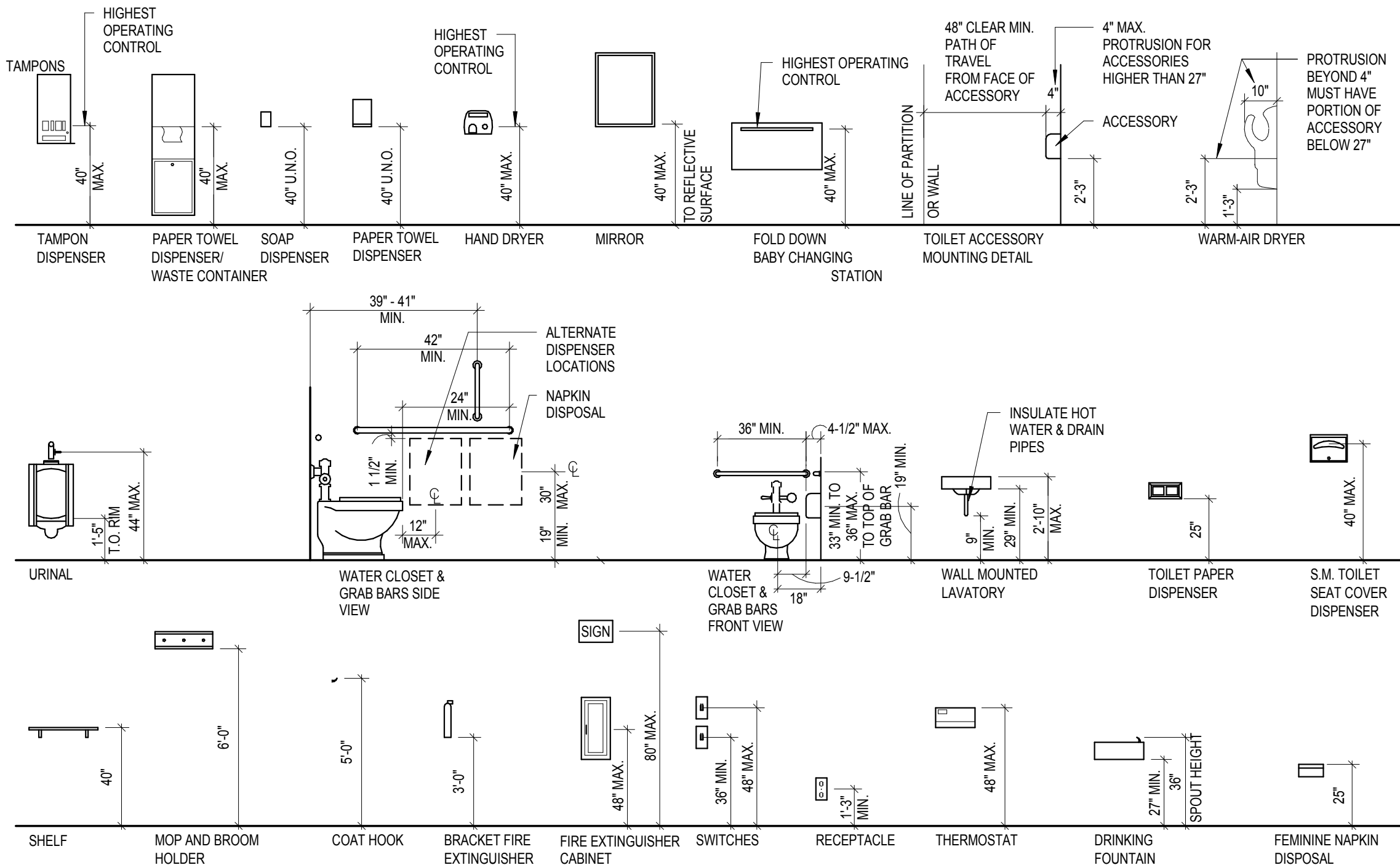
1 TYPICAL N.L.B. PARTITION FRAMING @ SUSPENDED CEILING
Scale: 3" = 1'-0"

COMPOSITE DESIGN FOR NON-STRUCTURAL STEEL PARTITIONS

30 MILS STUDS @ 5PSF (25 GA NOMINAL)			33 MILS STUDS @ 5PSF (20 GA NOMINAL)		
STUD SIZE	STUD SPACING	LIMITING WALL HEIGHT	STUD SIZE	STUD SPACING	LIMITING WALL HEIGHT
162S125 (1-5/8")	12"	9'-11"	162S125 (1-5/8")	12"	10'-4"
	16"	9'-2"		16"	9'-8"
	24"	8'-3"		24"	8'-9"
250S125 (2-1/2")	12"	13'-2"	250S125 (2-1/2")	12"	13'-11"
	16"	12'-1"		16"	12'-10"
	24"	10'-8"		24"	11'-7"
350S125 (3-5/8")	12"	17'-1"	350S125 (3-5/8")	12"	17'-10"
	16"	15'-8"		16"	16'-5"
	24"	14'-0"		24"	14'-8"
400S125 (4")	12"	19'-0"	400S125 (4")	12"	19'-11"
	16"	17'-6"		16"	18'-4"
	24"	15'-7"		24"	16'-5"
600S125 (6")	12"	25'-6"	600S125 (6")	12"	26'-9"
	16"	23'-2"		16"	24'-6"
	24"	20'-3"		24"	21'-7"

- NOTES:
- ASSUMED ALLOWABLE DEFLECTION = L/240
 - PROVIDE STUD BRIDGING AS REQUIRED BY GOVERNING CODES AND REGULATIONS

BASED ON SSMA ICBO ER-4943P AND INDUSTRY TECHNICAL NOTE 4, NOV. 2001

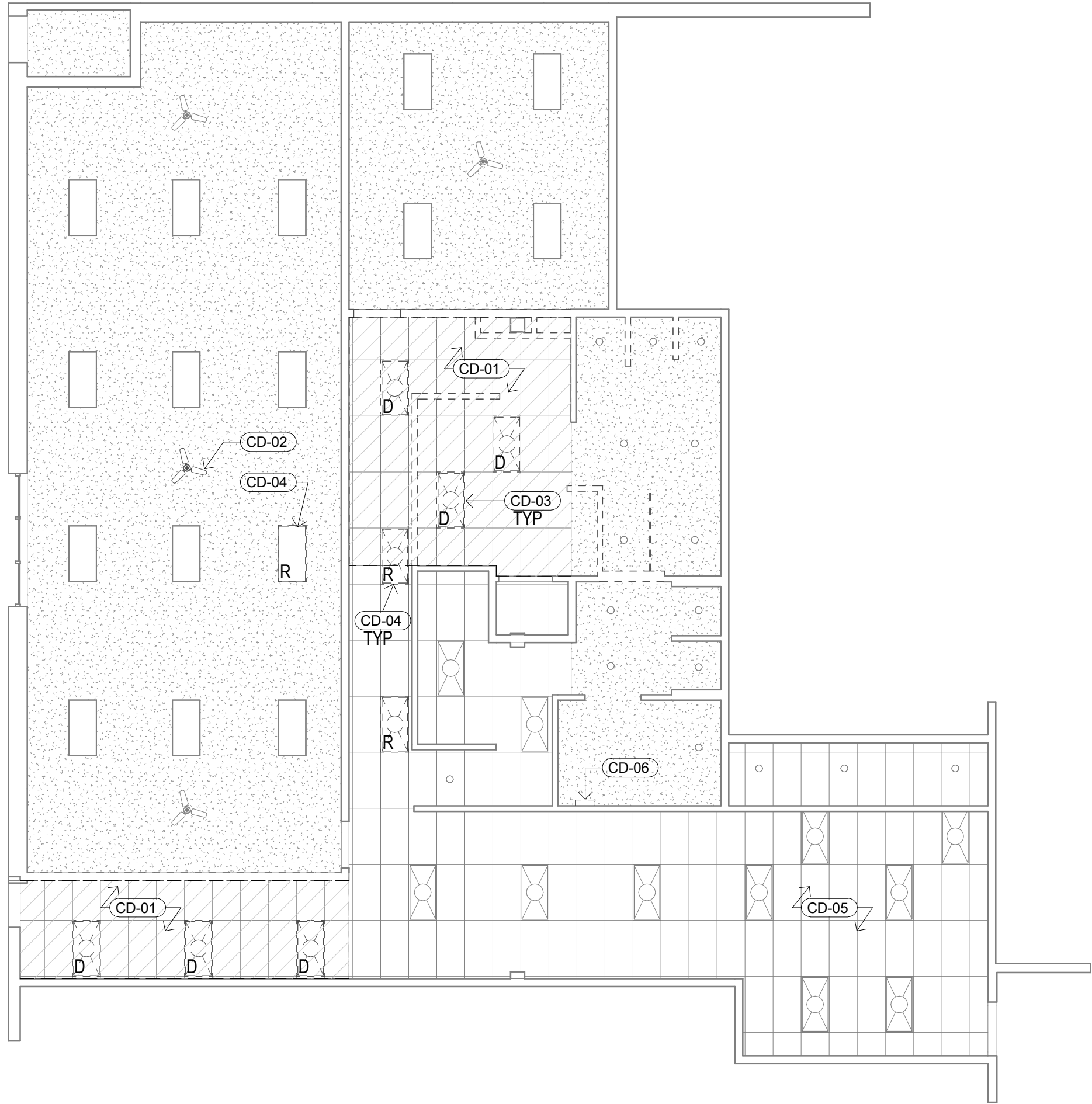


3 TYPICAL FIXTURE MOUNTING HEIGHTS
Scale: 6" = 1'-0"

 2
A7.00
NEW RCP - LEVEL 01
Scale: 1/8" = 1'-0"



 1
A7.00
DEMO RCP - LEVEL 01
Scale: 1/8" = 1'-0"



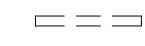
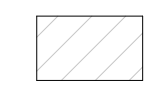
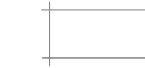
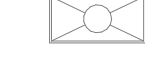
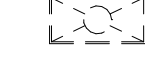
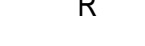
DEMOLITION RCP KEYNOTES

KEYNOTE	DESCRIPTION
CD-01	DEMOLISH EXISTING CEILING GRID AND ACOUSTICAL CEILING TILE TO EXTENT SHOWN (HATCHED AREA) TO ACCOMMODATE NEW CONSTRUCTION.
CD-02	REMOVE EXISTING CEILING FAN. VERIFY RELOCATION, SALVAGE OR DISPOSAL WITH TENANT AND BUILDING OWNER.
CD-03	REMOVE EXISTING 2x4 FLUORESCENT FIXTURE. VERIFY SALVAGE OR DISPOSAL WITH BUILDING OWNER.
CD-04	REMOVE EXISTING 2x4 FLUORESCENT FIXTURE FOR RELOCATION. PROTECT DURING CONSTRUCTION.
CD-05	EXISTING CEILING CONDITIONS TO REMAIN. PROTECT DURING CONSTRUCTION.
CD-06	EXISTING WALL MOUNTED LIGHT TO BE RELOCATED TO ACCOMMODATE NEW SINK LOCATION PER PLAN ON 2/A7.00.

DEMOLITION RCP GENERAL NOTES

1. ALL CEILING TILE AND GRID TO REMAIN EXCEPT NOTED OTHERWISE. PROTECT AGAINST DAMAGE DURING CONSTRUCTION.
2. ALL SALVAGED ITEMS SHALL BE RETURNED TO BUILDING OWNER OR TENANT. ALL UNWANTED MATERIAL SHALL BE DISPOSED OF.
3. PROTECT ANY ITEMS TO REMAIN AGAINST DAMAGE DURING CONSTRUCTION.
4. THOROUGHLY INSPECT EXISTING CEILING TILE AND REPLACE ANY DAMAGED AND/OR DISCOLORED TILE.
5. CEILING CONDITIONS NOT NOTED ARE EXISTING TO REMAIN.

DEMOLITION RCP LEGEND

-  NO WORK THIS AREA
-  EXISTING TO REMAIN
-  EXISTING TO BE REMOVED
-  EXTENT OF CEILING TO BE DEMOLISHED
-  EXISTING ACOUSTICAL CEILING TILE GRID TO REMAIN
-  2'x4' EXISTING SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE TO REMAIN
-  2'x4' EXISTING RECESSED FLUORESCENT LIGHT FIXTURE TO REMAIN
-  2'x4' RECESSED FLUORESCENT LIGHT FIXTURE TO BE REMOVED
-  RECESSED DOWNLIGHT FIXTURE
-  INDICATES ITEM TO BE DEMOLISHED
-  INDICATES ITEM TO BE RELOCATED

RCP KEYNOTES

KEYNOTE	DESCRIPTION
CN-01	RELOCATED LIGHT FIXTURE. TIE INTO EXISTING CIRCUIT AND CONTROLS.
CN-02	PROVIDE AND INSTALL NEW SURFACE MOUNTED LIGHT FIXTURE TO MATCH EXISTING.
CN-03	EXTEND EXISTING GWB CEILING TO MATCH EXISTING TO ACCOMMODATE NEW CONSTRUCTION.
CN-04	REWORK EXISTING SWITCHING TO ACCOMMODATE NEW CONSTRUCTION. ALL SWITCHING SHALL COMPLY WITH 2015 WA ENERGY CODE.

RCP GENERAL NOTES

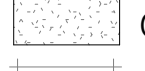
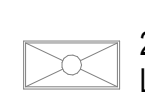
1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION.
2. ALL NEW SWITCHES SHALL BE AT 48" A.F.F. AND LOCATE SWITCHES 6" MINIMUM BEYOND EDGE OF DOOR WHEN OPEN 90° WHERE APPLICABLE, UNLESS NOTED OTHERWISE.
3. ALL SWITCH PLATES TOGGLES, AND DIMMERS TO BE BUILDING STANDARD.
4. VERIFY EXISTING EXISTING HVAC, SUPPLY AIR DIFFUSER, RETURN AIR GRILLE, AND THERMOSTAT LOCATIONS. REVISE AS REQUIRED. REUSE OF THE HVAC SYSTEM TO ACCOMMODATE THE NEW SPACE LAYOUT IS TO BE BIDDER DESIGNED AND UNDER A SEPARATE PERMIT.
5. PER W.S.E.C. SECTION 1513.2, THE MAXIMUM LIGHTING POWER THAT MAY BE CONTROLLED FROM A SINGLE SWITCH OR AUTOMATIC CONTROL SHALL NOT EXCEED THAT WHICH IS PROVIDED BY A 20 AMPERE CIRCUIT LOADED TO NOT MORE THAN 80%.
6. OFFICE AREAS LESS THAN 300 SQUARE FEET AND ALL MEETING, CONFERENCE, CLASSROOMS AND SIMILAR SHALL BE EQUIPPED WITH OCCUPANCY SENSORS THAT COMPLY WITH WSEC C405.2.2 AND C408.3. WHEN NEW WALLS ARE ADDED TO CREATE AN ENCLOSED SPACE, BUT THE LIGHTING FIXTURES ARE NOT BEING REPLACED OTHER THAN RELOCATED, THE CONTROLS IN THE NEW SPACE SHALL ALSO COMPLY WITH THE OTHER REQUIREMENTS IN WSEC C405.2.1, C405.2.2, C405.2.3, AND C408.3.
7. VERIFY AND RELOCATE/PROVIDE AND INSTALL EXIT SIGNAGE THROUGHOUT AS REQUIRED BY NEW CONSTRUCTION. VERIFY LOCATIONS WITH FIRE MARSHAL.

LIGHTING SUMMARY

LIGHTING POWER ALLOWANCE:
PER WASHINGTON STATE ENERGY CODE SECTION C503.6: WHERE LESS THAN 50% OF THE FIXTURES IN AN INTERIOR SPACE IS ALTERED, THE INSTALLED LIGHTING WATTAGE SHALL BE MAINTAINED OR REDUCED.

NO INCREASE OF WATTAGE PROPOSED UNDER THIS PERMIT.

RCP LEGEND

-  NO WORK THIS AREA
-  EXTENT OF NEW CEILING
-  GWB CEILING
-  EXISTING ACOUSTICAL CEILING TILE GRID TO REMAIN
-  2'x4' SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
-  RECESSED DOWNLIGHT FIXTURE
-  2'x4' RECESSED FLUORESCENT LIGHT FIXTURE
-  INDICATES RELOCATED ITEM
-  INDICATES NEW ITEM
-  EXIT SIGN

REV	DESCRIPTION	DATE
PERMIT SUBMITTAL		03.13.2017

DEMOLITION/NEW
REFLECTED CEILING
PLANS

A7.00

PROJECT NUMBER: A17-187 3/13/2017
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